BELADY GARAGE

7627 79TH AVE SE, MERCER ISLAND, WA 98040

ABBREVIATIONS

&	AND
@	AT
℄	CENTERLINE
ø	DIAMETER
d	PENNY
#	POUND OR NUMBER
♯	TEE
℄	PROPERTY LINE
⍁	SQUARE FEET OR SQUARE FOOTAGE
X°	PERCENT
±	PLUS OR MINUS
AB	ANCHOR BOLT
A.B.S.	APPROVED BY SUBMITAL
A.C.	ALTERNATING CURRENT
A.C.T.	ACOUSTICAL CEILING TILE
A/C	AIR CONDITION
AC	ACOUSTICAL
A.D.	AREA DRAIN
A.D.A	AMERICANS WITH DISABILITIES ACT (GUIDELINES)
ADJ	ADJUSTABLE
ADJT	ADJACENT
A.F.A.	ABOVE FINISH FLOOR
AGGR	AGGREGATE
AL, ALUM	ALUMINUM
ALT	ALTERNATE
ANC	ANCHORAGE
APPD	APPROVED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASB	ASBESTOS
ASPH	ASPHALT
AUTO	AUTOMATIC
AVG	AVERAGE
BD	BOARD
BTW	BETWEEN
BITUM	BITUMINOUS+
BN	BULL NOSE
BLDG	BUILDING
BM	BEAM
BTM	BOTTOM
BRG	BEARING
BSMT	BASEMENT
B.U.R.	BUILT UP ROOF
C	COURSES
CAB	CABINET
CAPL	CAPILLARY
C.B.	CATCH BASIN
CEM	CEMENT
CER	CERAMIC
C.F.	CUBIC FOOT
C.F.C.I.	CONTRACTOR FURNISHED CONTRACTOR INSTALLED
C.G.	CORNER GUARD
C.I.	CAST IRON
C.J.	CONTROL JOINT
CLG	CEILING
CLKG	CAULKING
CLO	CLOSET
CLR	CLEAR
C.M.R.	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CLEANOUT
COL	COLUMN
COMP	COMPOSITION
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE
CTR	CENTER
C.Y.	CUBIC YARD
D	DEEP, DEPTH, DEGREE
DBL	DOUBLE
D.C.	DIRECT CURRENT
DEMO	DEMOLISH, DEMOLITION
DTL	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DISP	DISPOSAL
DIV	DIVISION
DN	DOWN
DP	DAMPROOF
DR	DOOR
DS	DOWNSPOUT
D.F.	DRY STANDPIPE
DW	DISHWASHER
DWG	DRAWING
DWR	DRAWER
(E)	EXISTING
E	EAST
EA	EACH
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM
E.J.	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
E.P.	ELECTRICAL PANELBOARD
E.P.D.M.	ETHYLENE-PROPYLENE-DIENE MONOMER
EQ	EQUAL
EQUIP	EQUIPMENT
E.W.	EACH WAY
E.W.C.	ELECTRIC WATER COOLER
EXC	EXCAVATE
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXPO	EXPOSED
EXT	EXTERIOR
F.A.	FIRE ALARM
FAB	FABRICATE
FB	FACE BRICK
FD	FLOOR DRAIN
FDN	FOUNDATION
F.E.	FIRE EXTENGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FACTORY FINISH
F.F.L.	FINISH FLOOR LINE
F.H.C.	FIRE HOSE CABINET
FIN	FINISH
FL	FLOOR
FLSG	FLASHING
FLG	FLOORING
FLUOR	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.SH.	FACE OF SHEATHING
F.P.	FIRE PROOF
FRMG	FRAMING
FT	FOOT, FEET
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GEN	GENERAL
G.O.I.	GROUND FAULT INTERUPTER
G.I.	GALVANIZED IRON
GL	GLASS
G.L.B.	GLUE LAMINATED BEAM
G.M.U.	GLAZED MASONRY UNIT
GND	GROUND
GR	GRADE
G.WB.	GYPSUM WALL BOARD
GYP	GYPSUM
H	HIGH
HB	HOSE BIBB
HC	HOLLOW CORE
HD	HEAD
HDWR	HARDWARE
HDWD	HARDWOOD
HORIZ	HORIZONTAL
HT	HEIGHT
HTG	HEATING
HVAC	HEATING VENTILATION AIR CONDITIONING
H.T.A.	HOT WATER TANK
I.B.C.	INTERNATIONAL BUILDING CODE
I.D.	INSIDE DIAMETER
INCL	INCLUDE
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INTERCOM	INTERCOMMUNICATION
IRC	INTERNATIONAL RESIDENTIAL CODE
JAN	JANITOR
JST	JOIST
JT	JOINT
KIT	KITCHEN
L	LENGTH, LONG
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
L.L.	LIVE LOAD
LT	LITE, LEFT
LV	LOUVER
MACH	MACHINE
MATL	MATERIAL
MAX	MAXIMUM
MBR	MEMBER
MC	MEDICINE CABINET
MECH	MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER
MH	MANHOLE
MIL	MILITARY
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MK	MARK
M.O.	MASONRY OPENING
MT(D)	MOUNTED
MTL	METAL
MUL	MULLION
N	NORTH
NAT	NATURAL
N.E.C.	NATIONAL ELECTRIC CODE
NIC	NOT IN CONTRACT
NO OR #	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE, NOT TO SURE
OA	OVER-ALL
OBS	OBSCURE
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFF	OFFICE
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
ORIG	ORIGINAL
OSB	ORIENTED STRAND BOARD
PAR	PARALLEL
PC	PRECAST
PERF	PERFORATED
PERP	PERPENDICULAR
PLAM	PLASTIC LAMINATE
PL	PLATE
PLAS	PLASTER
PLBG	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
POS	POSITIVE
PR	PAIR
PREFAB	PREFABRICATED
PREFIN	PREFINISHED
PROJ	PROJECT
P.S.F.	POUNDS PER SQUARE FOOT
P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
P.T.D.	PAPER TOWEL DISPENSER
P.T.D.W.R.	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
PTN	PARTITION
P.T.R.	PAPER TOWEL RECEPTACLE
PVMT	PAVEMENT
Q.T.	QUARY TILE
R	RISER, RADIUS
R.D.	ROOF DRAIN
R.D.O.	ROOF DRAIN OVERFLOW
REBAR	REINFORCING BAR
RECD	RECEIVED
REF	REFERENCE
REFL	REFLECTED
REFR	REFRIGERATOR
REINF	REINFORCE (D,ING)
REQ	REQUIRED
S	SOUTH
SB	SPLASHBLOCK
SC	SEAT COVER DISPENSER
SCHED	SCHEDULE
SD	SOAP DISPENSER, STORM DRAIN
SDG	SIDING
SECT	SECTION
SGD	SLIDING GLASS DOOR
S.F.	SQUARE FEET
SH	SHELVES
SHR	SHOWER
SHT	SHEET
SHTG	SHEATHING
S.I.	SQUARE INCHES
SIM	SIMILAR
S.M.A.C.N.A.	SHEET METAL AND AIRCONDITIONING CONTRACTORS NATIONAL ASSOCIATION, INC.
S.N.D.	SANITARY NAPKIN RECEPTACLE
SPEC	SPECIFICATION
SQ	SQUARE
SSK	SERVICE SINK
SS	STAINLESS STEEL, SANITARY SEWER
STD	STANDARD
STL	STEEL
STOR	STORAGE
STR	STRUCTURAL
SUB	SUBSTITUTE
SUSP	SUSPENDED
SYM	SYMMETRICAL
SYS	SYSTEM
T	TREAD
TAN	TANGENT
TB	TOWEL BAR
TEL	TELEPHONE
TEMP	TEMPORARY
TERR	TERRAZO
T & G	TOUNGE AND GROOVE
THK	THICK
THRU	THROUGH
TL	TILE
T.O.C.	TOP OF CURB
T.O.F.	TOP OF FOOTING
T.O.S.	TOP OF SLAB
TOT	TOTAL
T.O.P.	TOP OF PAVEMENT
T.T.D.	TOILET TISSUE DISPENSER
T.S.	TUBE STEEL
T.S.G.	TEMPERED SAFETY GLASS
TV	TELEVISION
TW	TOP OF WALL
TYP	TYPICAL
U.F.A.S.	UNIFORM FEDERAL ACCESSIBILITY
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VB	VAPOR BARRIER, VINYL BASE
VCT	VINYL COMPOSITION TILE 3
VENT	VENTILATE
VER	VERIFY
VERT	VERTICAL
VEST	VESTIBULE
VOL	VOLUME
VYL	VINYL
W	WEST, WIDE, WIDTH
W/	WIDTH
WC	WATER CLOSET, WALL COVERING
WD	WOOD
WDW	WINDOW
WH	WALL HUNG
W/O	WITHOUT
WP	WATERPROOF
WSCT	WAINSCOT
WTHR BARR	WEATHER BARRIER
WS	WEATHER STRIPPING
WT	WEIGHT
WTR	WATER
WWF	WELDED WIRE FABRIC
W.S.E.C.	WASHINGTON STATE ENERGY CODE

SHEET INDEX

GENERAL INFORMATION

OWNERS' ADDRESS: CHRISTIAN AND JOAN BELADY
7627 79TH AVE SE
MERCER ISLAND, WA 98040
206.979.2210

ARCHITECT: BAZAN ARCHITECTS, INC.
2000 116TH AVENUE NORTHEAST
BELLEVUE, WA 98004
CONTACT: JOSE BAZAN
425.637.0831

STRUCTURAL: B2 ENGINEERS
BASRI BASRI PE, SE
425.318.7047

PROJECT DESCRIPTION

TO REPLACE EXISTING SPORTS COURT WITH A NEW GARAGE (UNHEATED) AND RELATED SITE WORK, ON A SINGLE FAMILY LOT WITH EXISTING HOUSE, GARDEN SHED AND LANDSCAPING.

NOTES

1. CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS AND EXISTING CONDITIONS ON THE JOB BEFORE PROCEEDING AND SHALL REPORT ANY DISCREPANCIES TO ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING . DIMENSIONS NOTED AS PLUS OR MINUS INDICATE UNVERIFIED DISTANCE BETWEEN EXISTING REFERENCE AND ARE APPROXIMATE.
2. ALL DRAWING CONFLICTS OR CONDITIONS ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT FOR RESOLUTION. IF CONFLICTS AMONG DRAWINGS SHOULD OCCUR THE LARGER SCALE DRAWING SHALL GOVERN. CONFLICTS BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE GOVERNED BY THE SPECIFICATIONS.
3. ALL DIMENSIONS ARE MEASURED TO THE FACE OF STUD, U.N.O.
4. DOOR OPENINGS ARE LOCATED 3" FROM FACE OF WALL TO THE DOOR JAMB, U.N.O.
5. ALL CONSTRUCTION SHALL IN ACCORDANCE WITH THE LATEST EDITION OF STANDARD CODES AND SPECIFICATIONS AS PUBLISHED AND ADOPTED BY THE GOVERNING AUTHORITY. IF A CONFLICT OCCURS BETWEEN THE DRAWINGS AND THE CODES, THE MORE STRINGENT REQUIREMENT SHALL GOVERN. NOTHING IN THESE DRAWINGS SHALL BE CONSTRUED TO PERMIT WORK NOT CONFORMING WITH GOVERNING CODES.

SITE INFORMATION:

SITE ADRESS: 7627 79TH AVE SE
MERCER ISLAND, WA 98040

PARCEL TAX No: 252404-9150

LEGAL DESCRIPTION: THE NORTH 126 FEET OF THE SOUTH 504 FEET OF THE WEST HALF OF THAT PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY WASHINGTON, LYING NORTH OF THE NORTH LINE OF THE SOUTH 10 ACRES OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION;

EXCEPTING THEREFROM THE EAST 30 FEET THEREOF AS CONVEYED TO THE CITY OF MERCER ISLAND BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 7606070605.

GROSS LOT AREA: 37,548 SQ. FT.

ZONING: SINGLE FAMILY(RES USE/ZONE)

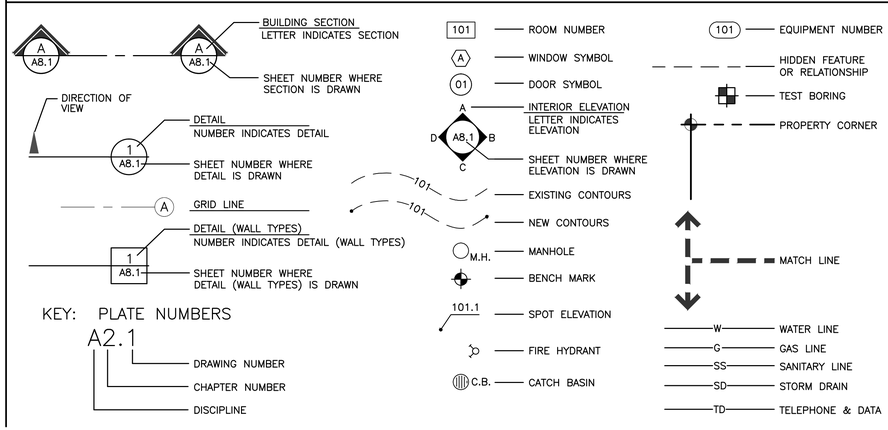
BUILDING HEIGHT FOR ACCESSORY BUILDING:

ALLOWABLE: 17.0'
ACTUAL: 14.8' (10.7' OVER EXISTING GRADE)

IMPERVIOUS AREA:

NEW GARAGE AREA + DRIVEWAY: 1969 SQ.FT.

KEY: SYMBOLS



KEY: PLATE NUMBERS

VICINITY MAP

STAMP:

4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT :

BELADY
GARAGE / ACCESSORY BUILDING
7627 79TH AVE SE
MERCER ISLAND, WASHINGTON
98040

BAZAN ARCHITECTS
2000 - 116TH AVENUE NE
SUITE 4
BELLEVUE, WA 98004

PHONE: 425.637.0831
FAX: 425.637.1878

PERMIT

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2. NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.

	REVISIONS:	DATE
1	CITY UPDATES	07/22/2020
2	PLANNING UPDATES	01/11/2021

DRAWN BY SBO

CHECKED BY J. BAZAN

PROJECT # 18-116

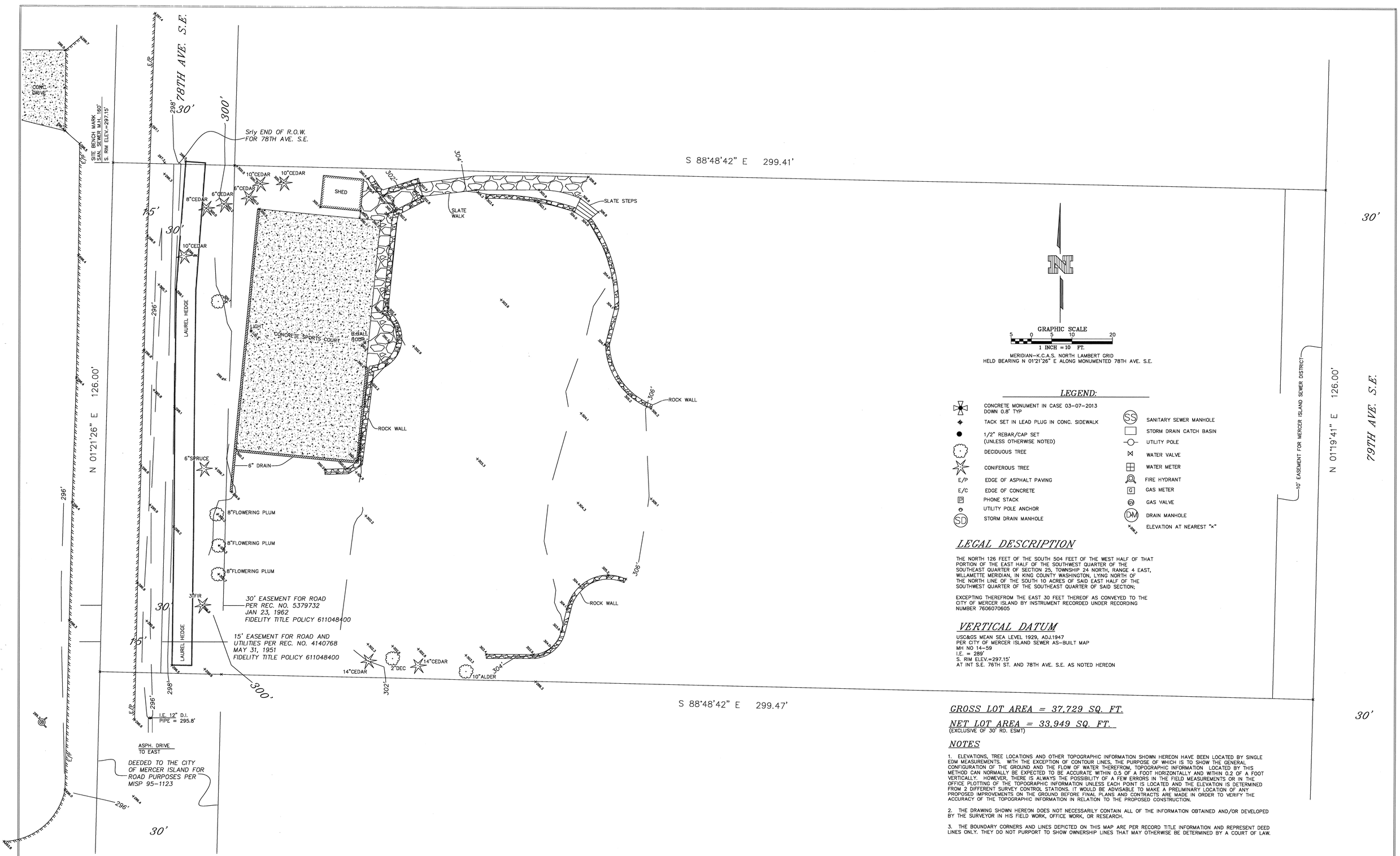
SET ISSUE DATE: 12.23.2019

SHEET TITLE

GENERAL

SHEET #

G0.01



LEGEND:

- CONCRETE MONUMENT IN CASE 03-07-2013 DOWN 0.8' TYP
- TACK SET IN LEAD PLUG IN CONC. SIDEWALK
- 1/2" REBAR/CAP SET (UNLESS OTHERWISE NOTED)
- DECIDUOUS TREE
- CONIFEROUS TREE
- E/P EDGE OF ASPHALT PAVING
- E/C EDGE OF CONCRETE
- PHONE STACK
- UTILITY POLE ANCHOR
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- STORM DRAIN CATCH BASIN
- UTILITY POLE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- GAS METER
- GAS VALVE
- DRAIN MANHOLE
- ELEVATION AT NEAREST "x"

LEGAL DESCRIPTION

THE NORTH 126 FEET OF THE SOUTH 504 FEET OF THE WEST HALF OF THAT PORTION OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 24 NORTH, RANGE 4 EAST, WILLAMETTE MERIDIAN, IN KING COUNTY WASHINGTON, LYING NORTH OF THE NORTH LINE OF THE SOUTH 10 ACRES OF SAID EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION;

EXCEPTING THEREFROM THE EAST 30 FEET THEREOF AS CONVEYED TO THE CITY OF MERCER ISLAND BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 7606070605

VERTICAL DATUM

USC&GS MEAN SEA LEVEL 1929, ADJ.1947
PER CITY OF MERCER ISLAND SEWER AS-BUILT MAP
MH NO 14-59
I.E. = 289'
S. RIM ELEV.=297.15'
AT INT S.E. 76TH ST. AND 78TH AVE. S.E. AS NOTED HEREON

GROSS LOT AREA = 37,729 SQ. FT.

NET LOT AREA = 33,949 SQ. FT.
(EXCLUSIVE OF 30' RD. ESMT)

NOTES

1. ELEVATIONS, TREE LOCATIONS AND OTHER TOPOGRAPHIC INFORMATION SHOWN HEREON HAVE BEEN LOCATED BY SINGLE EDM MEASUREMENTS. WITH THE EXCEPTION OF CONTOUR LINES, THE PURPOSE OF WHICH IS TO SHOW THE GENERAL CONFIGURATION OF THE GROUND AND THE FLOW OF WATER THEREFROM, TOPOGRAPHIC INFORMATION LOCATED BY THIS METHOD CAN NORMALLY BE EXPECTED TO BE ACCURATE WITHIN 0.5 OF A FOOT HORIZONTALLY AND WITHIN 0.2 OF A FOOT VERTICALLY. HOWEVER, THERE IS ALWAYS THE POSSIBILITY OF A FEW ERRORS IN THE FIELD MEASUREMENTS OR IN THE OFFICE PLOTTING OF THE TOPOGRAPHIC INFORMATION UNLESS EACH POINT IS LOCATED AND THE ELEVATION IS DETERMINED FROM 2 DIFFERENT SURVEY CONTROL STATIONS. IT WOULD BE ADVISABLE TO MAKE A PRELIMINARY LOCATION OF ANY PROPOSED IMPROVEMENTS ON THE GROUND BEFORE FINAL PLANS AND CONTRACTS ARE MADE IN ORDER TO VERIFY THE ACCURACY OF THE TOPOGRAPHIC INFORMATION IN RELATION TO THE PROPOSED CONSTRUCTION.

2. THE DRAWING SHOWN HEREON DOES NOT NECESSARILY CONTAIN ALL OF THE INFORMATION OBTAINED AND/OR DEVELOPED BY THE SURVEYOR IN HIS FIELD WORK, OFFICE WORK, OR RESEARCH.

3. THE BOUNDARY CORNERS AND LINES DEPICTED ON THIS MAP ARE PER RECORD TITLE INFORMATION AND REPRESENT DEED LINES ONLY. THEY DO NOT PURPORT TO SHOW OWNERSHIP LINES THAT MAY OTHERWISE BE DETERMINED BY A COURT OF LAW.

REVISION	APPR

T.M.M. 10-31-2013 Drawn by
T.M.M. Checked by:
Approved by:
1"=10' Scale

MICHAEL W. MARSHALL STATE OF WASHINGTON 20764 REGISTERED PROFESSIONAL LAND SURVEYOR EXPIRES 8/21/2014

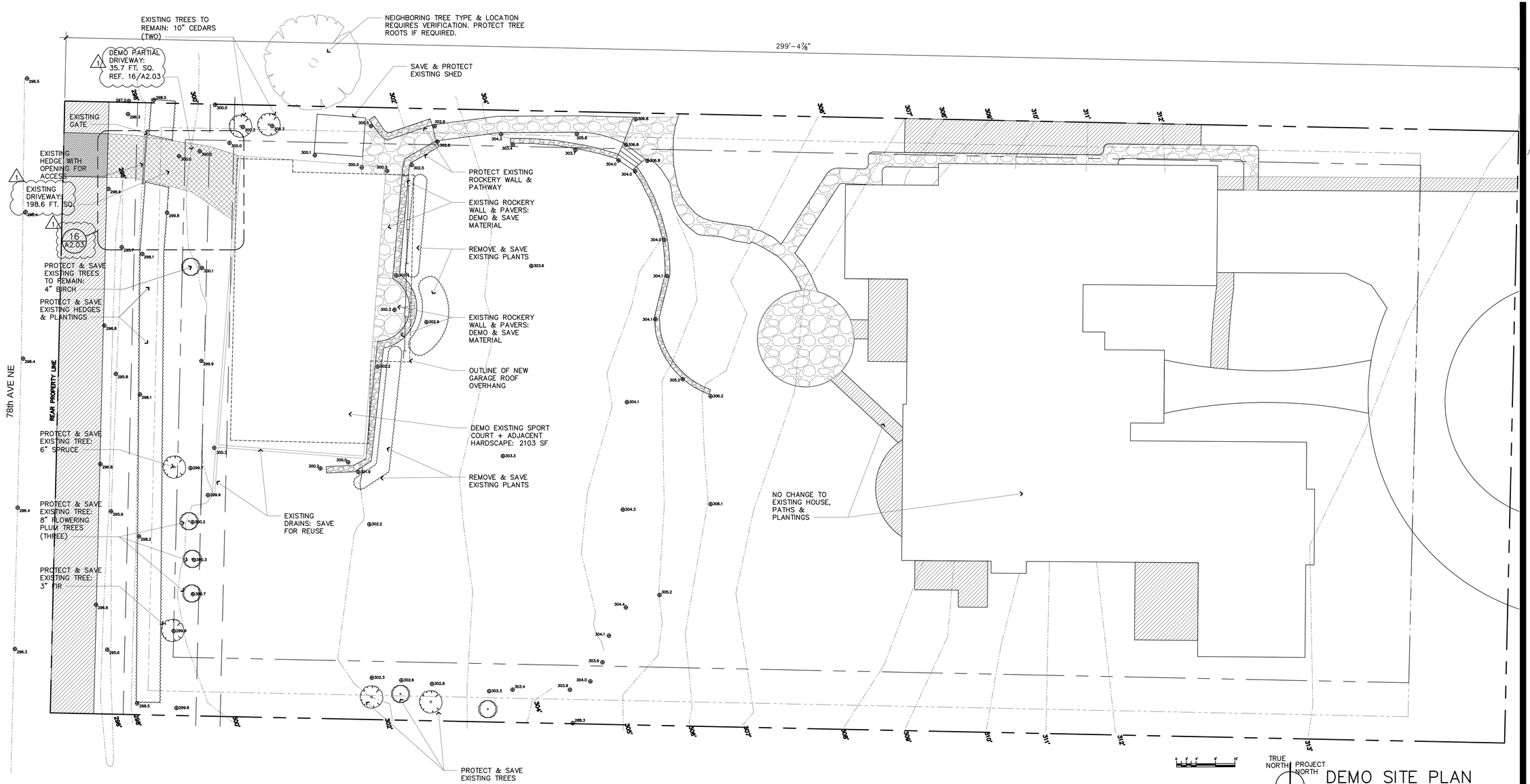
M. W. MARSHALL
PROFESSIONAL LAND SURVEYOR
7834 S.E. 32ND ST. MERCER ISLAND, WASHINGTON 98040 TEL: (206) 232 - 5282

BELADY RESIDENCE
7627 79TH AVE. S.E.
MERCER ISLAND WA 98040

TOPOGRAPHIC SURVEY
OF
A PTN. OF THE SW 1/4 OF THE SE 1/4 OF SEC. 25, T.24N., R.4E., W.M.

JOB NUMBER
5001

SHEET 1 OF 1



DEMO SITE PLAN

1:10

GROSS FLOOR AREA (GFA)

GROSS FLOOR AREA CALCULATIONS

Building Area	Existing Area	Removed Area	New/Addition Area	Total
Upper Floor	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
Main Floor	3,389 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	3396 Sq. Ft.
Gross Basement Area	1,400 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	1400 Sq. Ft.
Garage/ Carport	580 Sq. Ft.	0 Sq. Ft.	1918 Sq. Ft.	2598 Sq. Ft.
Total Floor Area	5,566 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	7484 Sq. Ft.
Accessory Buildings	80 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
Accessory Dwelling Unit 2ND & 3RD Story Roofed	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
Decks	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
Basement Area Excluded	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
150% GFA Modifier* (main and upper floor x2)	0 Sq. Ft.	0 Sq. Ft.	1273 Sq. Ft.	1273 Sq. Ft.
200% GFA Modifier* (main and upper floor x2)	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.	0 Sq. Ft.
Staircase GFA Modifier* (x2 for a three story staircase, x3 for a four story staircase)	0	0	0	0
TOTAL Building Area	5580 Sq. Ft.	0 Sq. Ft.	3191 Sq. Ft.	8732 Sq. Ft.

*Enter the actual room area

A. Lot Area			37,729	Square Feet
B. Zone	R-0.4 ☐	R-9.6 ☐	R-12 ☐	R-15 ☐
C. Allowed Gross Floor Area (refer to "allowed GFA")			12,000	Square Feet
D. Allowed Gross Floor Area			31	% of Lot
E. Proposed Gross Floor Area			0727	Square Feet
F. Proposed Gross Floor Area			23.2	% of Lot

Gross floor area calculations found on Plan Sheet #

Basement exclusion calculations found on Plan Sheet #

STAMP:

4885 REGISTERED ARCHITECT
JOSE O. BAZAN
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REVISIONS:	DATE
1 CITY UPDATES	07/22/2020

DRAWN BY SBO

CHECKED BY J. BAZAN

PROJECT # 18-116

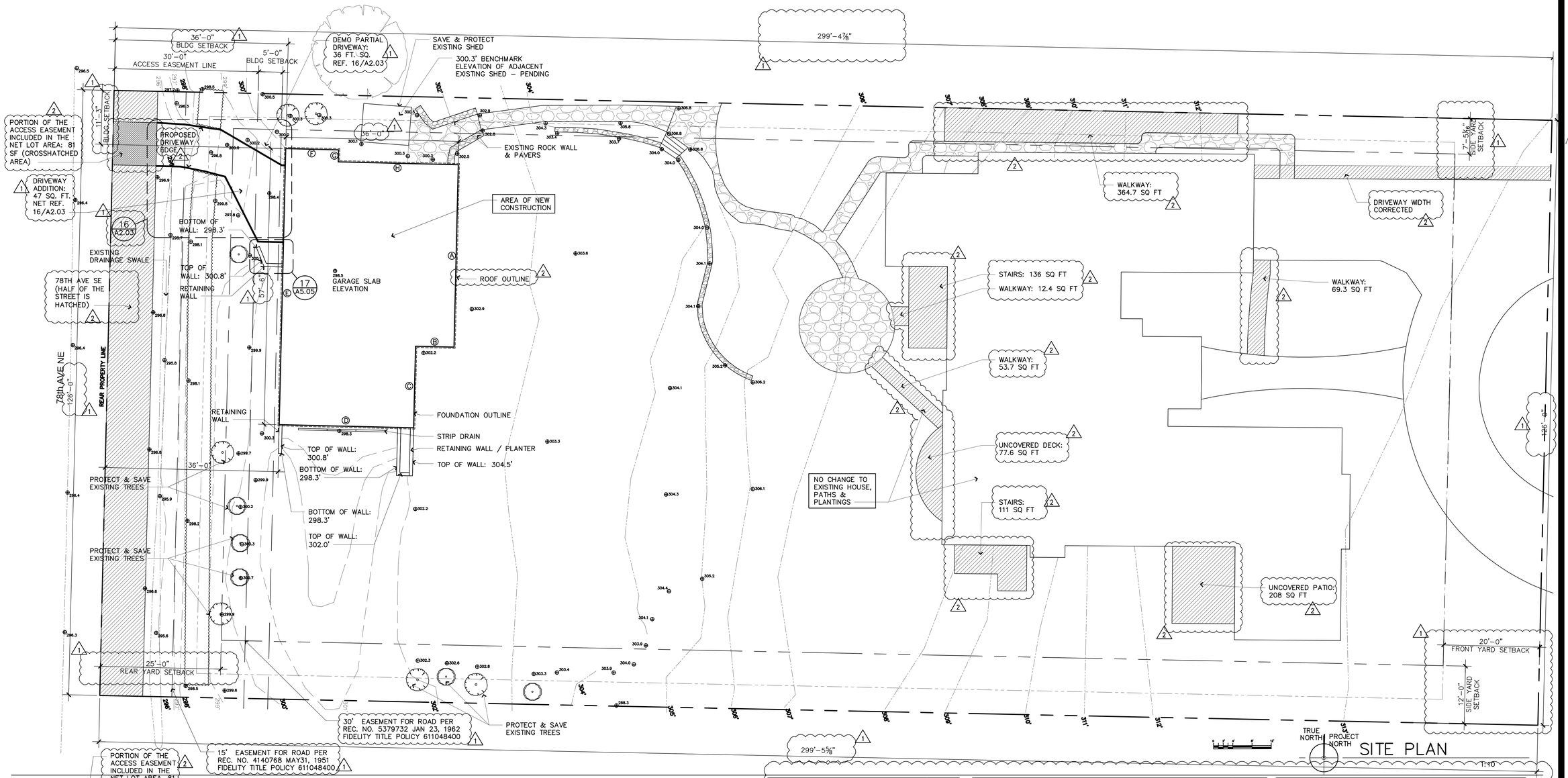
SET ISSUE DATE: 12.23.2019

SHEET TITLE

DEMO SITE PLAN GROSS FLOOR AREA TABLE

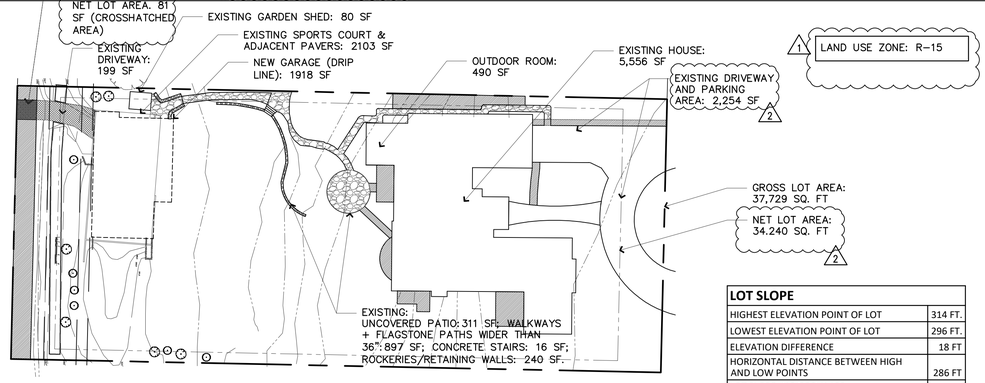
SHEET #

A1.01



SITE PLAN

1" = 10'



LOT COVERAGE CALCULATION DIAGRAM

NOT TO SCALE

LOT SLOPE	
HIGHEST ELEVATION POINT OF LOT	314 FT.
LOWEST ELEVATION POINT OF LOT	296 FT.
ELEVATION DIFFERENCE	18 FT
HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS	286 FT
LOT SLOPE: (18/286) X 100	6.3%

IMPERVIOUS SURFACE CALCULATION	SQ. FT.
REMOVAL OF SPORTS COURT & ADJACENT PAVERS	2,103
REMOVAL OF DRIVEWAY - PARTIAL	36
TOTAL IMPERVIOUS SURFACE REMOVED	2,139
NEW GARAGE (ROOF DRIP LINE)	1,918
ADDITIONAL DRIVEWAY AREA	51
NEW TOTAL IMPERVIOUS SURFACE:	1,969
NET LOSS OF IMPERVIOUS AREA: 2,139 - 1,969 =	-170
NOTE: THE RESULT IS A NET LOSS OF IMPERVIOUS AREA. BECAUSE THE NEW GARAGE/DRIVEWAY TOTAL IMPERVIOUS AREA IS LESS THAN THE EXISTING SPORTS COURT AREA THAT IT IS REPLACING, THERE A NET LOSS OF IMPERVIOUS SURFACE OF 170 SQ. FT. IN ADDITION, THE WEST DRIVEWAY IS EXISTING AND IS NOT INCLUDED IN A NEW IMPERVIOUS SURFACE TOTAL. PART OF THE EXISTING DRIVEWAY IS REMOVED (36 SQ. FT.), AND THE DRIVEWAY IS EXPANDED BY 87 SQ. FT. WITH A NET CHANGE OF 51 SQ. FT. WHICH IS INCLUDED IN THE REVISED IMPERVIOUS SURFACE TOTAL.	

LOT COVERAGE		SQ. FT.
A.	GROSS LOT AREA:	37,729
B.	NET LOT AREA:	34,230
C.	ALLOWED LOT COVERAGE AREA (34,230 X 40 %)	13,692
D.	ALLOWED LOT COVERAGE - LOT SLOPE >15% (THEREFORE 40%)	40%
E.	EXISTING LOT COVERAGE:	
	1. MAIN STRUCTURE ROOF AREA	5,556
	2. ACCESSORY BUILDING ROOF AREA	80
	3. VEHICULAR USE - INCLUDING EXISTING DRIVEWAYS ON EAST SIDE (GARAGE DRIVEWAY + CIRCULAR DRIVE = 2254 SF) AND WEST SIDE (OFF 78TH AVE NE = 199 SF + 81 SF) OF LOT	2,534
	4. COVERED PATIOS AND COVERED DECKS	490
	5. TOTAL EXISTING LOT COVERAGE AREA (E1 + E2 + E3 + E4)	8,660
F.	TOTAL LOT COVERAGE AREA REMOVED: PARTIAL AREA OF WEST DRIVEWAY REMOVED	36
G.	PROPOSED ADJUSTMENT FOR SINGLE STORY (AREA)	0
H.	PROPOSED ADJUSTMENT FOR FLAG LOT	0
I.	TOTAL NEW LOT COVERAGE AREA:	
	1. MAIN STRUCTURE ROOF AREA	0
	2. ACCESSORY STRUCTURE ROOF AREA - GARAGE	1,918
	3. VEHICULAR USE - DRIVEWAY ADDITION TO WEST DRIVEWAY (NET)	47
	4. COVERED PATIOS AND COVERED DECKS	0
	5. TOTAL NEW LOT COVERAGE (I1 + I2 + I3 + I4)	1,965
J.	TOTAL PROJECT LOT COVERAGE AREA = (E5 - F) + I5	10,589
K.	PROPOSED LOT COVERAGE AREA = (J/B) X 100	30.93%

HARDSCAPE CALCULATION		SQ. FT.
A.	GROSS LOT AREA	37,729
B.	NET LOT AREA	34,230
C.	AREA BORROWED FROM LOT COVERAGE	0
D.	ALLOWED HARDSCAPE AREA = 9% OF LOT AREA + C	9%
E.	ALLOWED HARDSCAPE AREA	3,081
F.	TOTAL EXISTING HARDSCAPE AREA:	
	1. UNCOVERED DECKS	78
	2. UNCOVERED PATIOS	519
	3. WALKWAYS	1,405
	4. STAIRS	263
	5. ROCKERIES AND RETAINING WALLS	240
	6. OTHER: SPORTS COURT	2,103
	7. TOTAL EXISTING HARDSCAPE AREA (F1 + F2 + F3 + F4 + F5 + F6)	4,344
G.	TOTAL HARDSCAPE AREA REMOVED	2,103
H.	TOTAL NEW HARDSCAPE AREA:	
	1. UNCOVERED DECKS	0
	2. UNCOVERED PATIOS	0
	3. WALKWAYS	0
	4. STAIRS	0
	5. ROCKERIES AND RETAINING WALLS	0
	6. OTHER	0
	7. TOTAL EXISTING HARDSCAPE AREA (H1 + H2 + H3 + H4 + H5 + H6)	0
I.	TOTAL PROJECT HARDSCAPE AREA = (F7 - G) + H7	2,241
J.	TOTAL PROJECT HARDSCAPE AREA = (I/B) X 100	6.55%

STAMP:

4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT:

BELADY
GARAGE / ACCESSORY BUILDING

7627 79TH AVE SE
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REVISIONS:		DATE
1	CITY UPDATES	07/22/2020
2	PLANNING UPDATES	01/11/2021

DRAWN BY: SBO

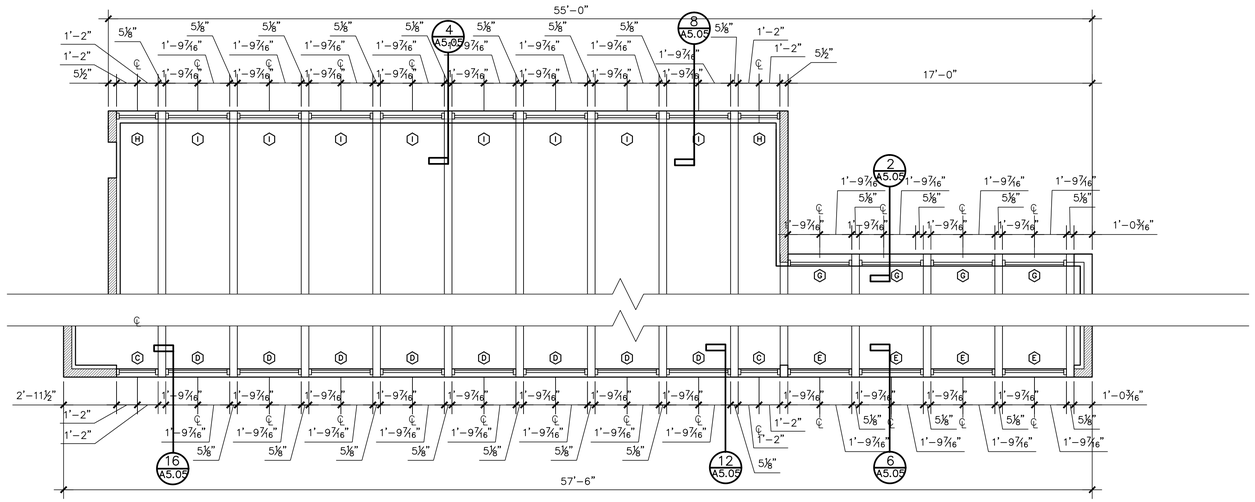
CHECKED BY: J. BAZAN

PROJECT #: 18-116

SET ISSUE DATE: 12.23.2019

SHEET TITLE:
SITE PLAN
IMPERVIOUS SURFACE CALCULATION
TOTAL LOT COVERAGE + HARDSCAPE CALC.

SHEET #:
A1.03



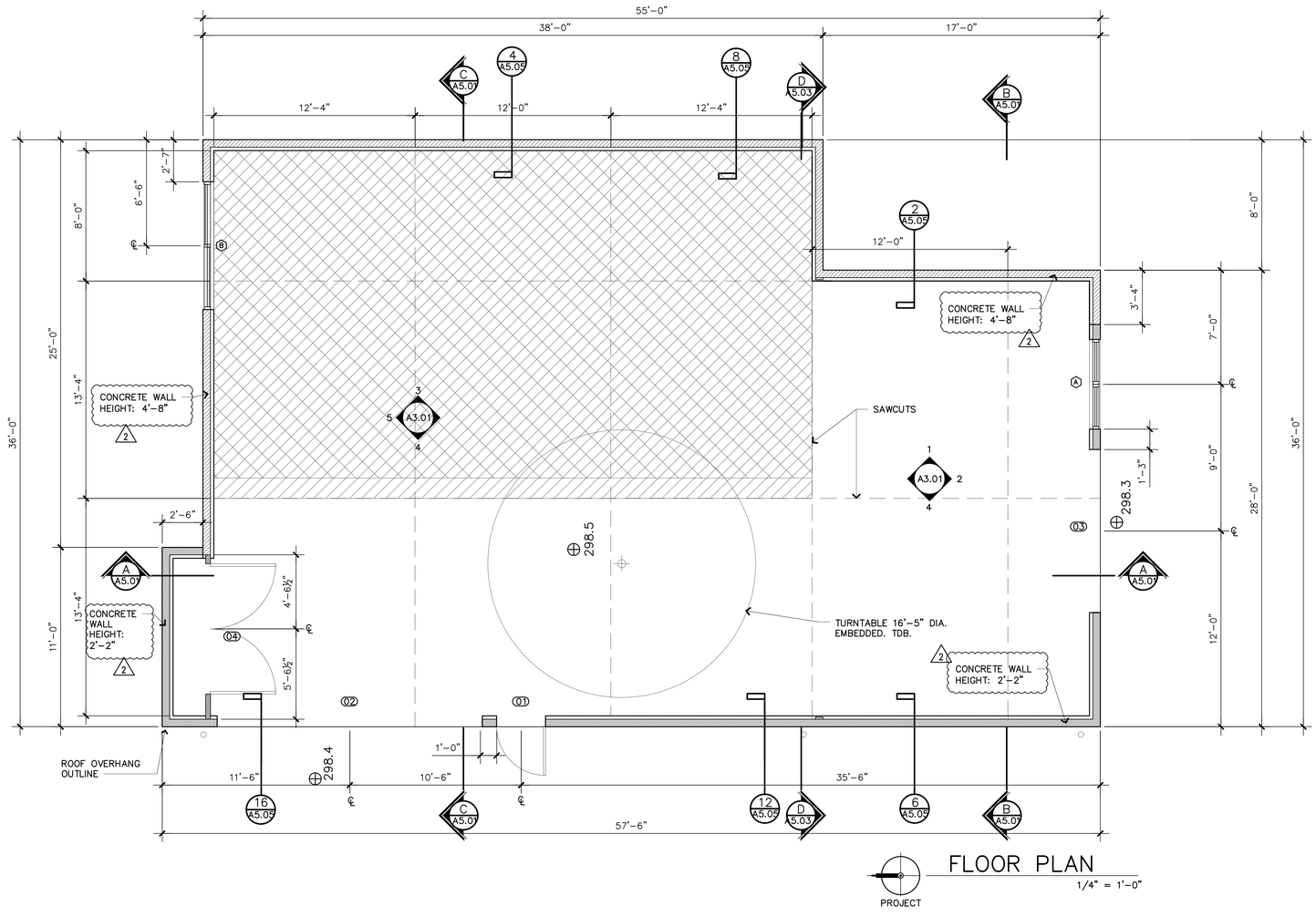
CLERESTORY WINDOW PLAN

1/4" = 1'-0"

KEY:

AREA WITH CEILING HEIGHT GREATER THAN 12' BUT LESS THAN 16'

AREA OF THICKER SLAB
REFER TO STRUCTURAL DRAWINGS



FLOOR PLAN

1/4" = 1'-0"

PROJECT

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2	PLANNING UPDATES	01/11/2021

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CHECKED BY J. BAZAN

PROJECT # 18-116

SET ISSUE DATE: 12.23.2019

SHEET TITLE

FLOOR PLAN + CLERESTORY WINDOW PLAN

SHEET #

A2.01

STAMP:
4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT :

BELADY
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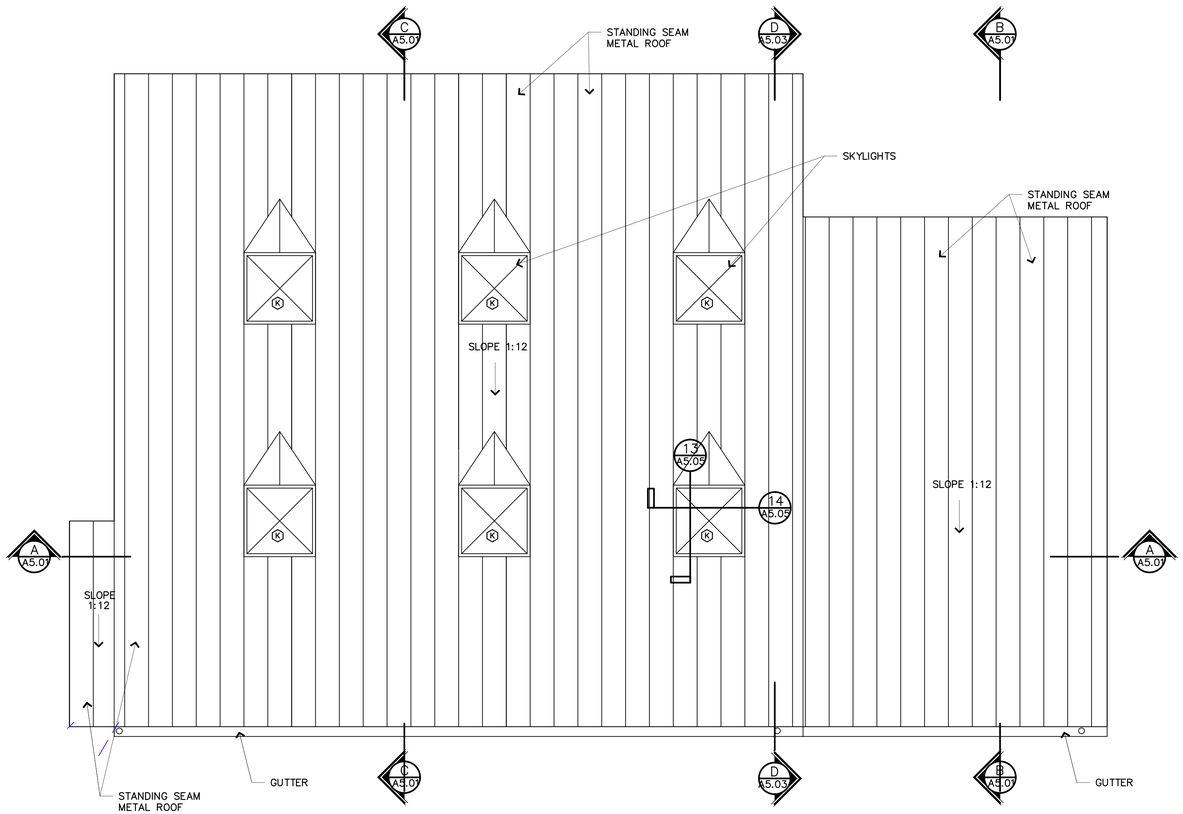
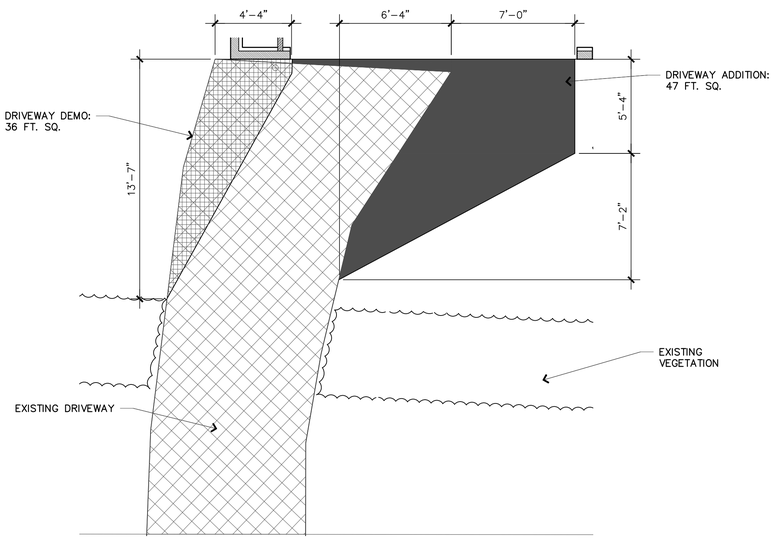


ROOF PLAN

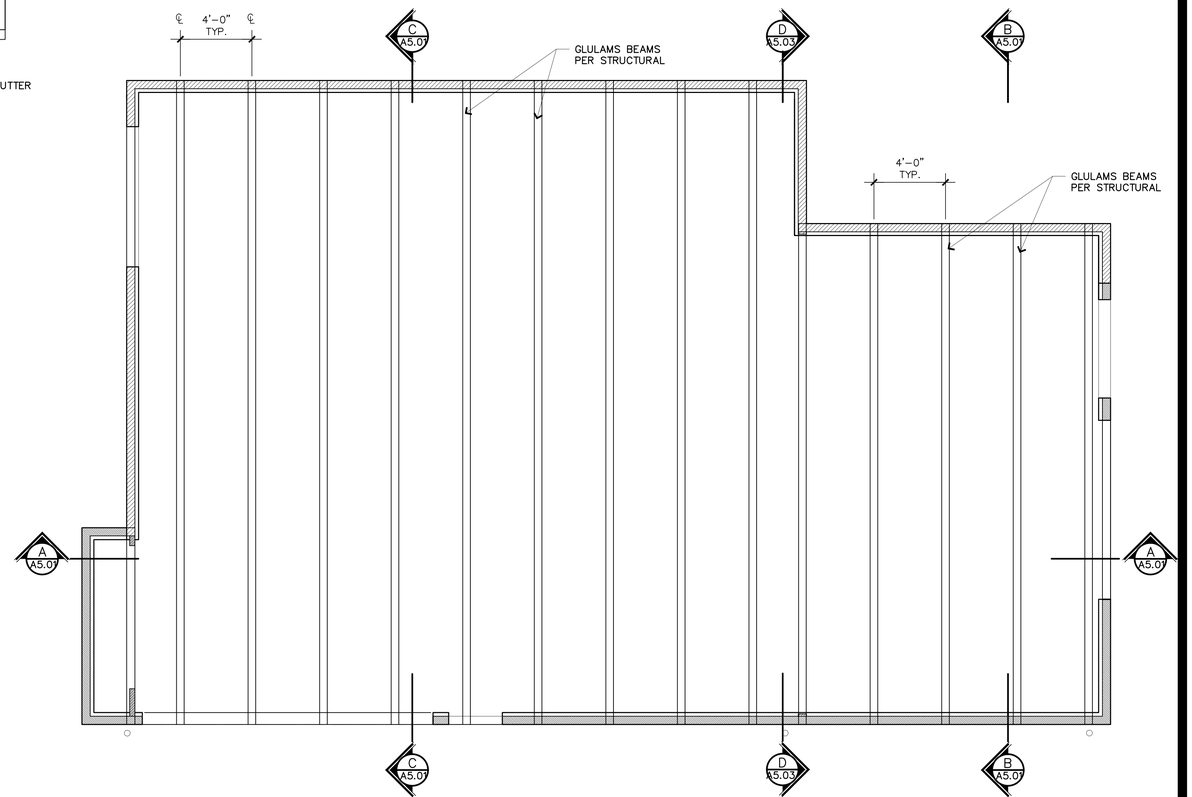
1/4" = 1'-0"

PROJECT



16 A2.03 DRIVEWAY DIMENSIONS

1/4" = 1'-0"



TRUSS PLAN

1/4" = 1'-0"

PROJECT

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PROJECT # 18-116

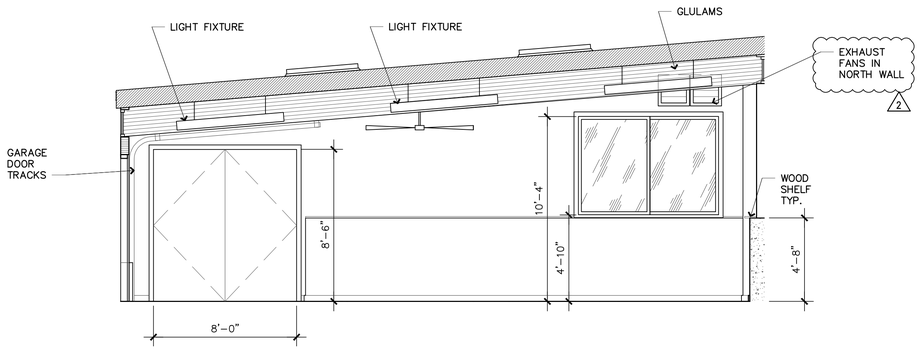
SET ISSUE DATE: 12.23.2019

SHEET TITLE

ROOF PLAN
TRUSS PLAN

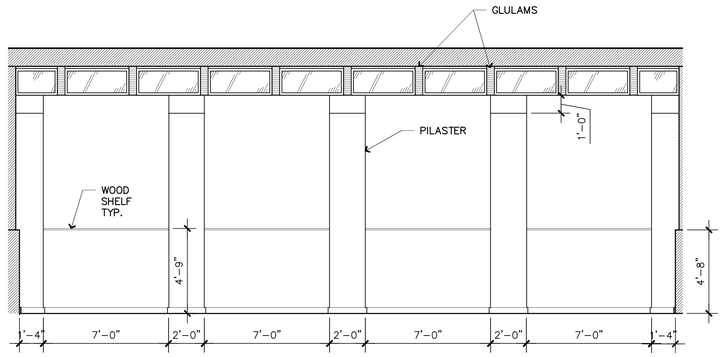
SHEET #

A2.03



5 A3.01 INTERIOR ELEVATION

1/4" = 1'-0"



3 A3.01 INTERIOR ELEVATION

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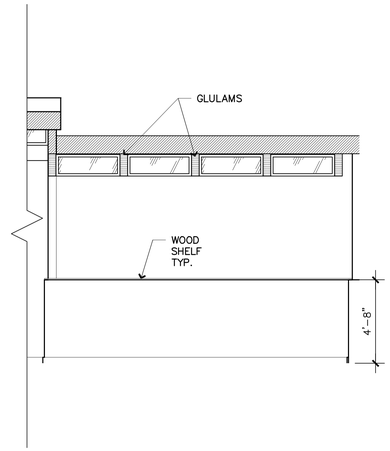
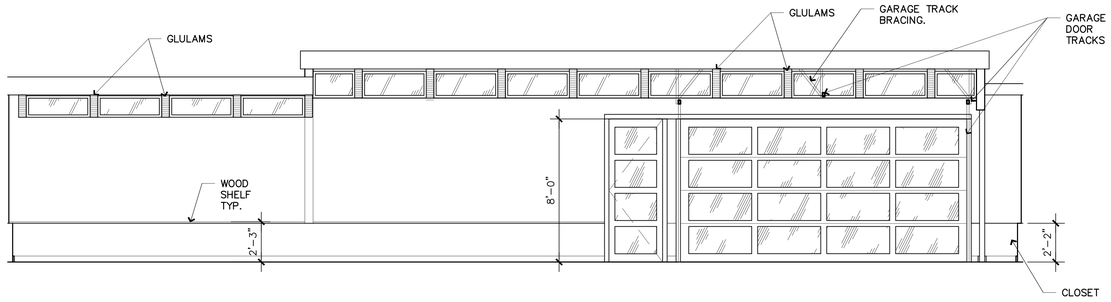


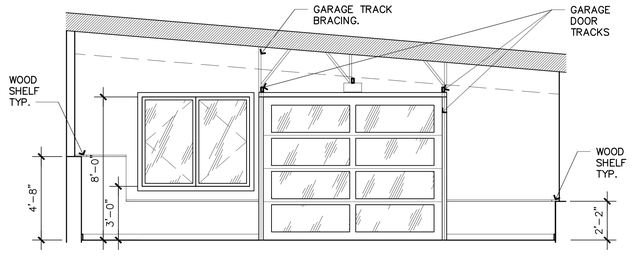
1 A3.01 INTERIOR ELEVATION

1/4" = 1'-0"



4 A3.01 INTERIOR ELEVATION

1/4" = 1'-0"



2 A3.01 INTERIOR ELEVATION

1/4" = 1'-0"

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2	PLANNING UPDATES	01/11/2021

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PROJECT #: 18-116

SET ISSUE DATE: 12.23.2019

SHEET TITLE

INTERIOR ELEVATIONS

SHEET #

A3.01

STAMP:

4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT :

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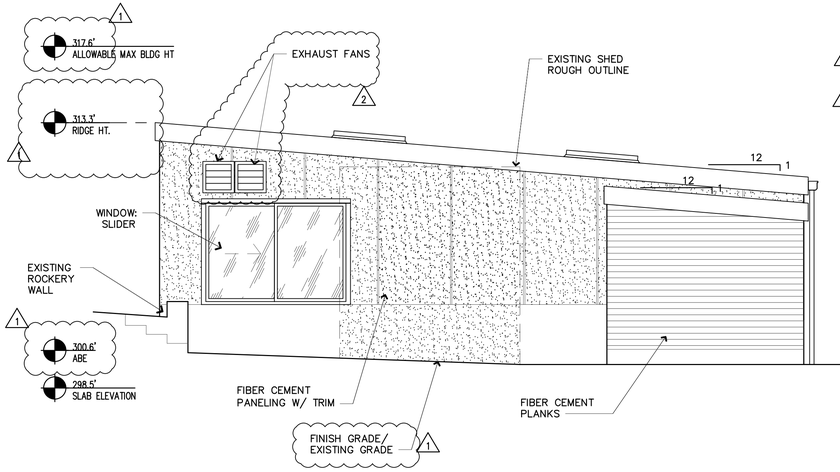
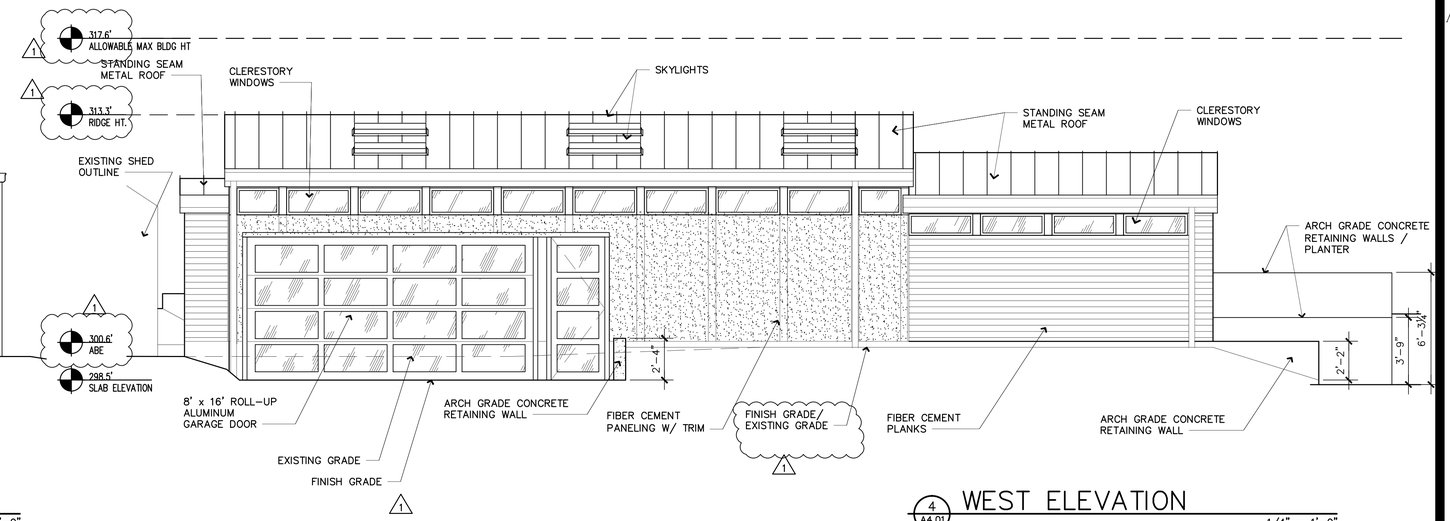


4 A4.01 NORTH ELEVATION

1/4" = 1'-0"

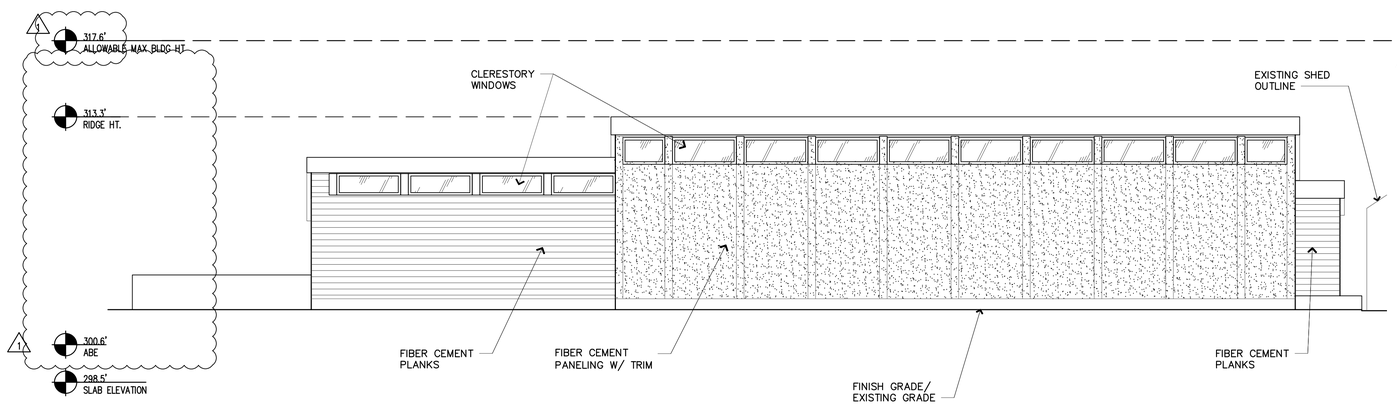


4 A4.01 WEST ELEVATION

1/4" = 1'-0"

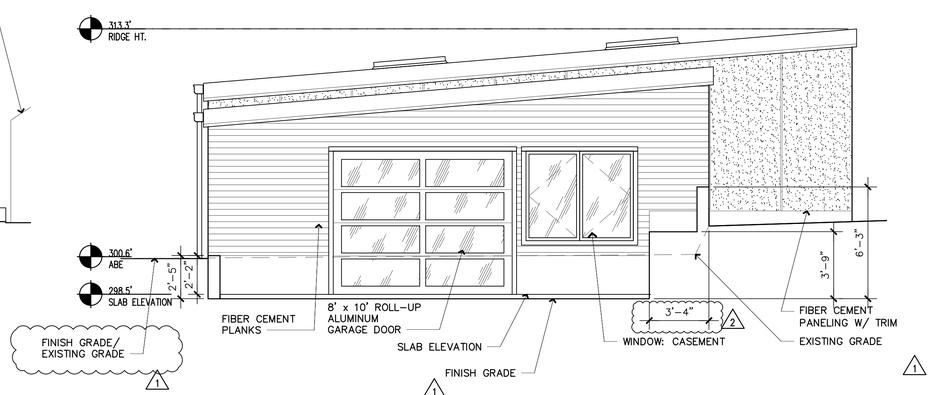
AVERAGE BUILDING ELEV DETERMINATION

	MID-POINT ELEV	WALL LENGTH	MID-POINT ELEV X WALL LENGTH
A	302.7	38.0'	11,502.6
B	302.4	8.0'	2,419.2
C	302.2	17.0'	5,137.4
D	298.3	28.0'	8,352.4
E	299.9	57.5'	17,244.3
F	300.0	11.0'	3,300.0
G	300.1	2.5'	750.3
H	300.3	25.0'	7,507.5
TOTAL		187.0'	56,213.6
ABE FORMULA:	56,213.60/187 = 300.6' ABE 300.6' ABE + 17' = 317.6' Allowable Max Bldg Height		



4 A4.01 EAST ELEVATION

1/4" = 1'-0"



4 A4.01 SOUTH ELEVATION

1/4" = 1'-0"

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PROJECT # 18-116

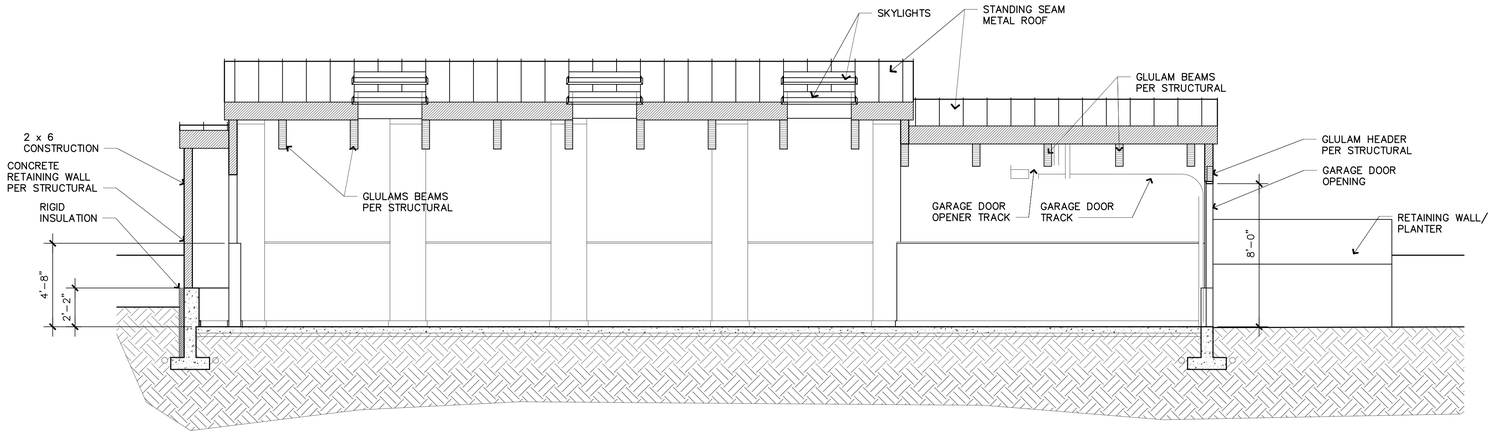
SET ISSUE DATE: 12.23.2019

SHEET TITLE

ELEVATIONS

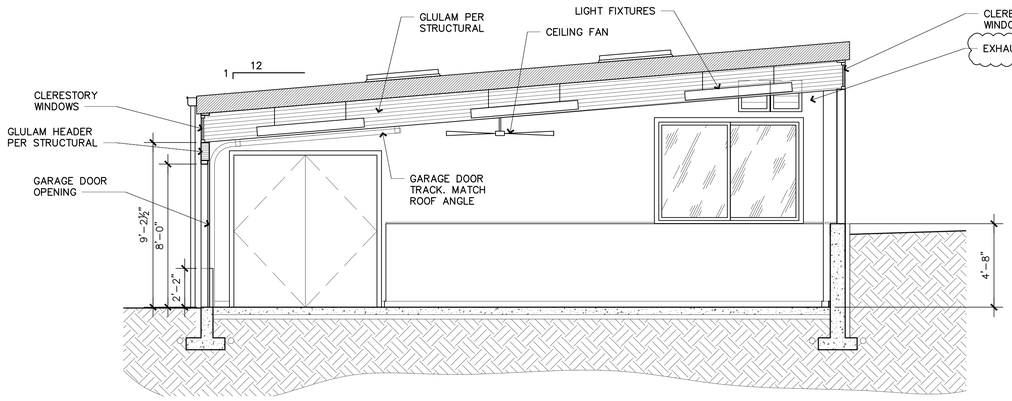
SHEET #

A4.01



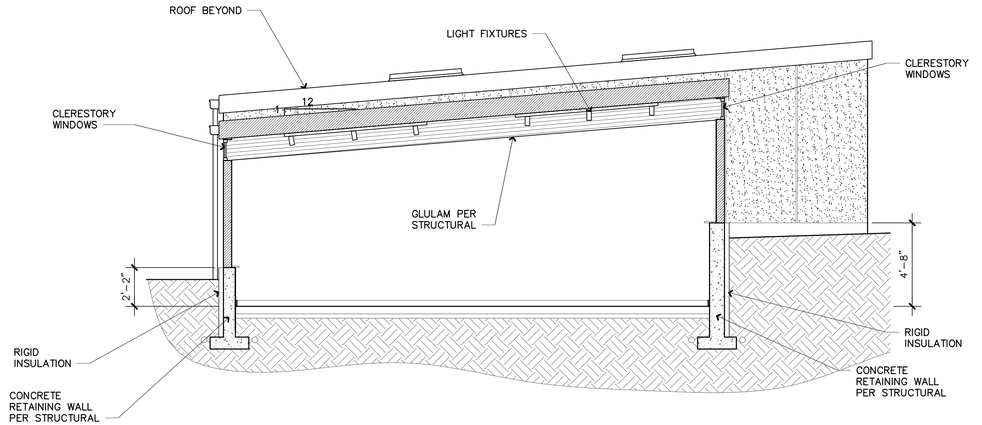
A SECTION

1/4" = 1'-0"



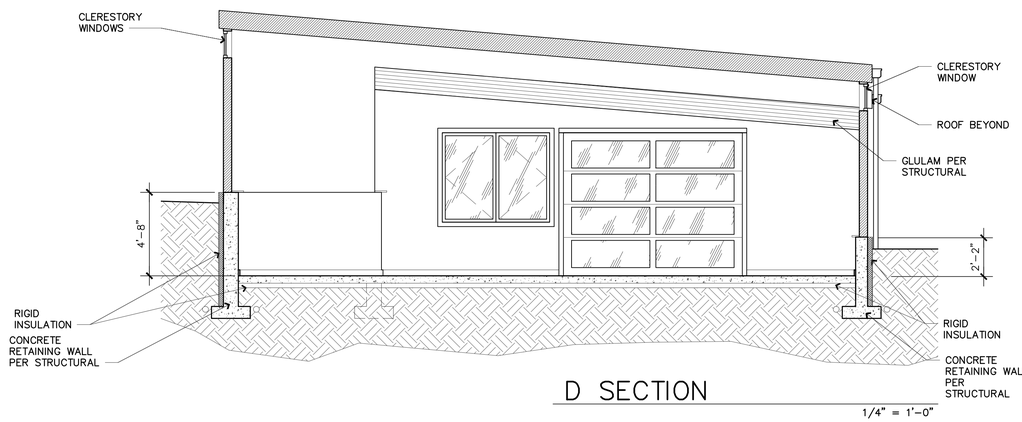
C SECTION

1/4" = 1'-0"



B SECTION

1/4" = 1'-0"



D SECTION

1/4" = 1'-0"

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CHECKED BY: J. BAZAN

PROJECT #: 18-116

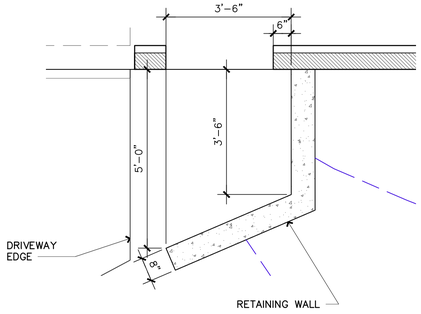
SET ISSUE DATE: 12.23.2019

SHEET TITLE:

SECTIONS

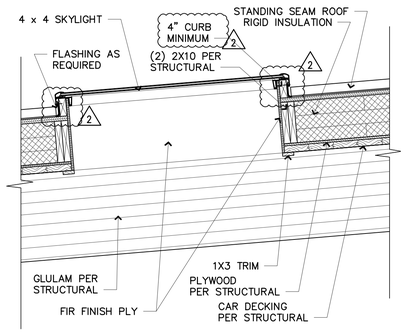
SHEET #:

A5.01



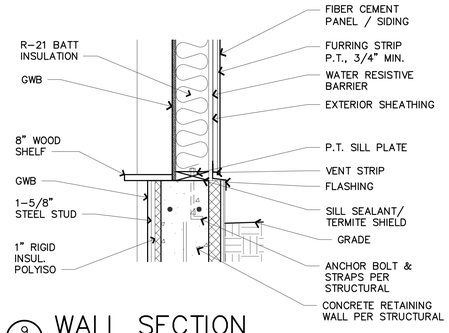
17 A5.05 RETAINING WALL 1

3/4" = 1'-0"



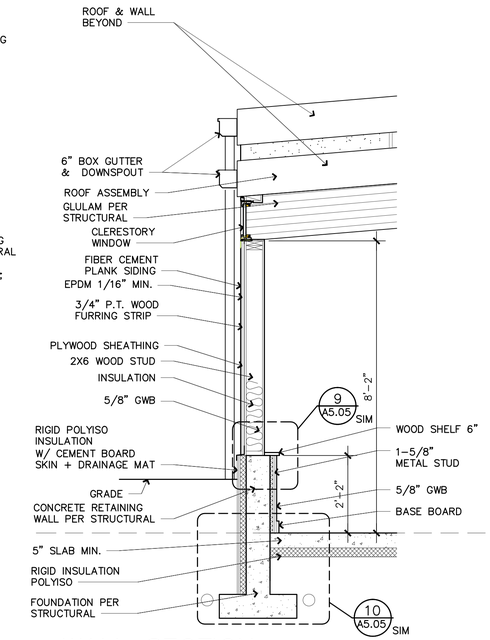
13 A5.05 SKYLIGHT DETAIL

3/4" = 1'-0"



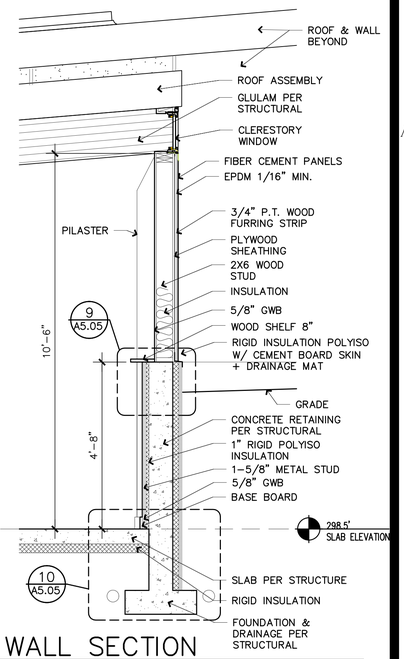
9 A5.05 WALL SECTION

1" = 1'-0"



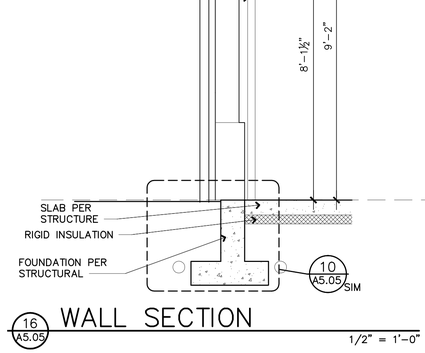
6 A5.05 WALL SECTION

1/2" = 1'-0"



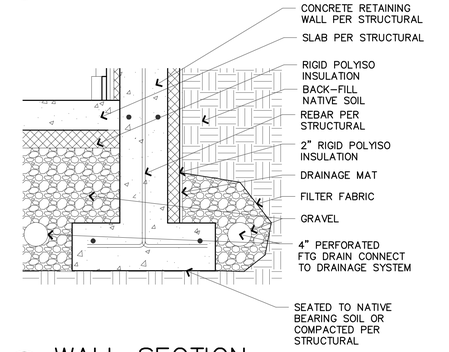
2 A5.05 WALL SECTION

1/2" = 1'-0"



14 A5.05 SKYLIGHT DETAIL

3/4" = 1'-0"

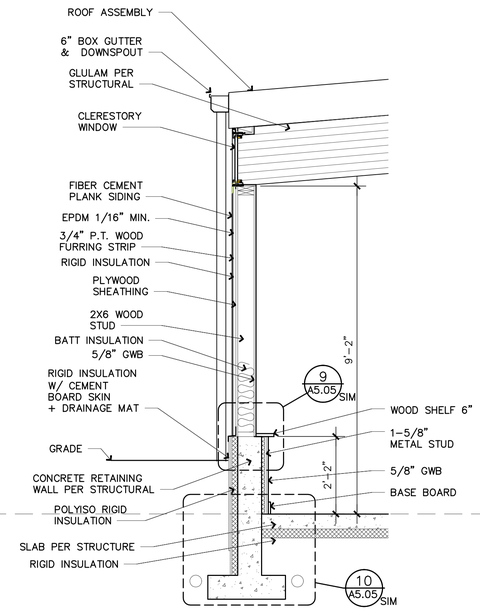


10 A5.05 WALL SECTION

1" = 1'-0"

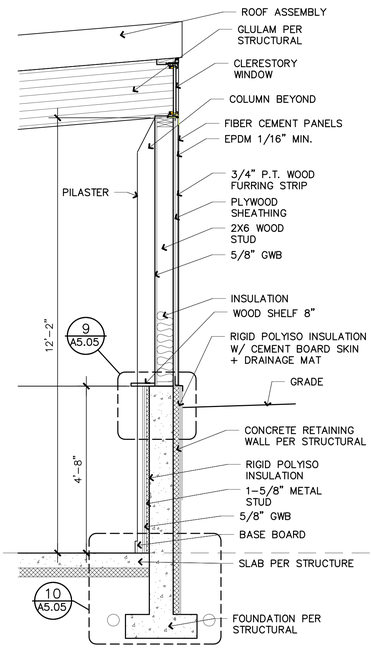
16 A5.05 WALL SECTION

1/2" = 1'-0"



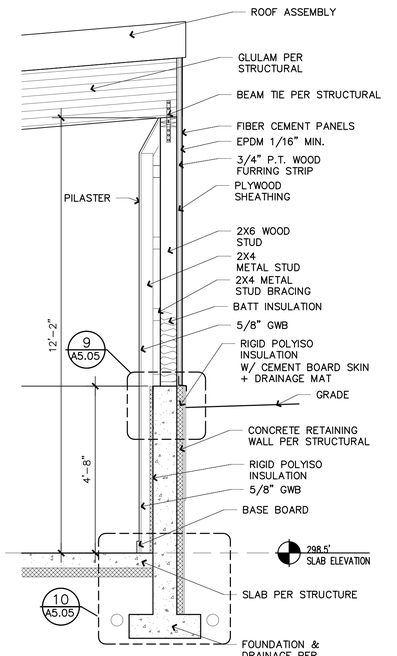
12 A5.05 WALL SECTION

1/2" = 1'-0"



8 A5.05 WALL SECTION

1/2" = 1'-0"



4 A5.05 WALL SECTION

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PHONE: 425.637.0831
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PERMIT

NOTE:
1. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. CIVIL, LANDSCAPE STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION, SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE DIMENSIONS AMONG ALL DRAWINGS. ANY DISCREPANCIES, CONTRADICTIONS, OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH WORK OR FABRICATION OF THE ITEM(S) IN QUESTION.
2. NOT A FULL SIZE DRAWING UNLESS PRINTED ON 24"x36" SHEET.

REVISIONS:		DATE
2	PLANNING UPDATES	01/11/2021

DRAWN BY: SBO

CHECKED BY: J. BAZAN

PROJECT #: 18-116

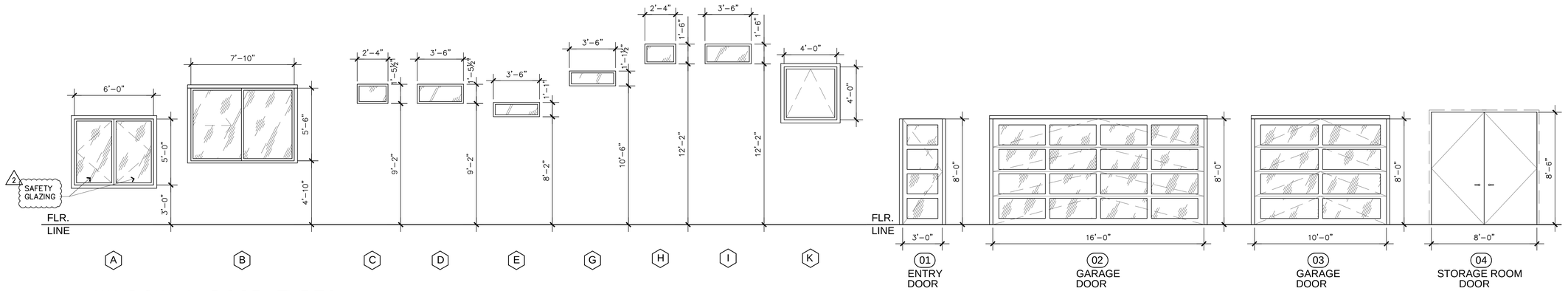
SET ISSUE DATE: 12.23.2019

SHEET TITLE:

WALL SECTIONS

SHEET #:

A5.05



19 A7.01 WINDOW & DOOR TYPES

1/4" = 1'-0"

WINDOW SCHEDULE

SYMBOL	REQUIRE EGRESS	WIDTH	WINDOW HEIGHT	TYPE	SAFTY GLASS	FRAME	FIRE RATING	SQ. FT.	U-VALUE	SHGC	QUAN	REMARKS
A	NO	6'-0"	5'-0"	CASEMENT	YES 2	THERMAL STEEL	NR	24.9			1	PELLA IMPERVIA FIBERGLASS
B	NO	7'-10"	5'-6"	SLIDER	NO	THERMAL STEEL	NR	37.9			1	PELLA IMPERVIA FIBERGLASS
C	NO	2'-4"	1'-5 1/2"	FIXED	NO	THERMAL STEEL	NR	2.4			2	PELLA IMPERVIA FIBERGLASS
D	NO	3'-6"	1'-5 1/2"	FIXED	NO	THERMAL STEEL	NR	3.7			8	PELLA IMPERVIA FIBERGLASS
E	NO	3'-6"	1'-1"	FIXED	NO	THERMAL STEEL	NR	2.5			4	PELLA IMPERVIA FIBERGLASS
G	NO	3'-6"	1' 1 1/2"	FIXED	NO	THERMAL STEEL	NR	2.7			4	PELLA IMPERVIA FIBERGLASS
H	NO	2'-4"	1'-6"	FIXED	NO	THERMAL STEEL	NR	2.5			2	PELLA IMPERVIA FIBERGLASS
I	NO	3'-6"	1'-6"	FIXED	NO	THERMAL STEEL	NR	3.9			8	PELLA IMPERVIA FIBERGLASS
K	NO	4'-0"	4'-0"	SKYLIGHT-FIXED	NO	WOOD CURB	NR	13.4	NA	NA	6	VELUX

DOOR SCHEDULE

MARK	ROOM NAME	SIZE: WIDTH	SIZE: HEIGHT	TYPE	CORE	MATERIAL	FRAME	SQ. FT.	U-VALUE	SHGC	QUAN	REMARKS
01	GARAGE	3'-0"	8'-0"	SWING	INSUL	GLASS (1)	AL				1	TBD
02	GARAGE	16'-0"	8'-0"	OVERHEAD	INSUL	GLASS (1) 2	AL				1	TBD
03	GARAGE	8'-0"	8'-0"	OVERHEAD	INSUL	GLASS (1)	AL				1	TBD
04	STORAGE	8'-0"	8'-6"	SWING	WOOD	WOOD	WOOD				1	TBD
2	NOTES:	(1) SAFETY GLAZING										

STAMP:

4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT :

BELADY
GARAGE / ACCESSORY BUILDING

7627 79TH AVE SE
MERCER ISLAND, WASHINGTON
98040

BAZAN ARCHITECTS
2000 - 116TH AVENUE NE
SUITE 4
BELLEVUE, WA 98004

PHONE: 425.637.0831
FAX: 425.637.1878

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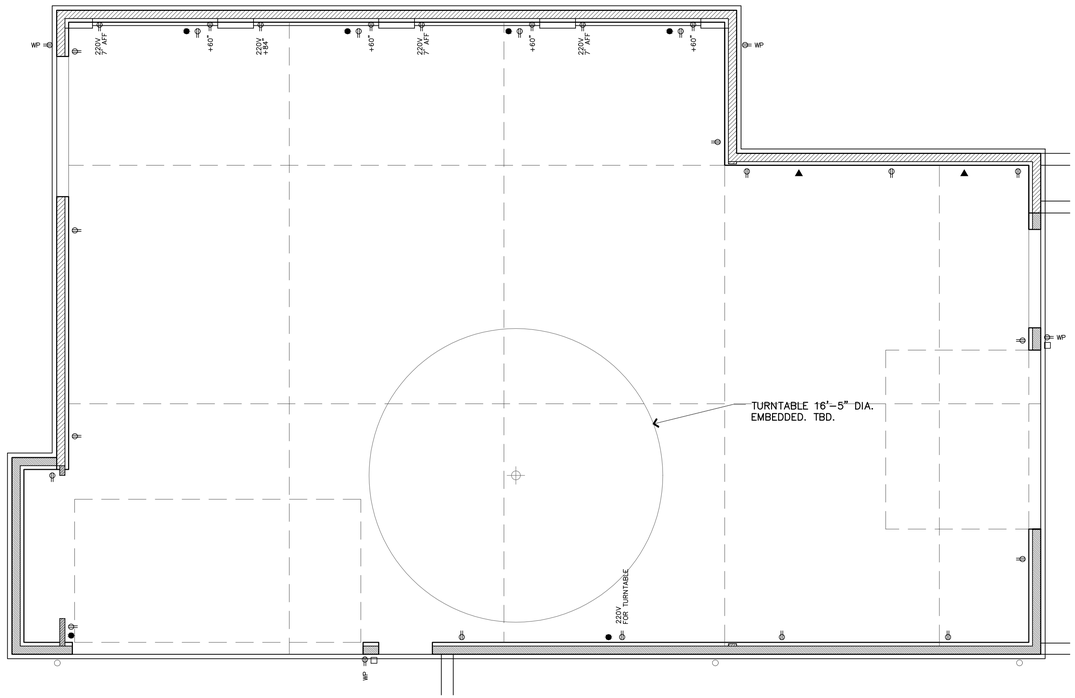
WINDOW + DOOR SCHEDULES

SHEET #

A7.01



ELECTRICAL PLAN

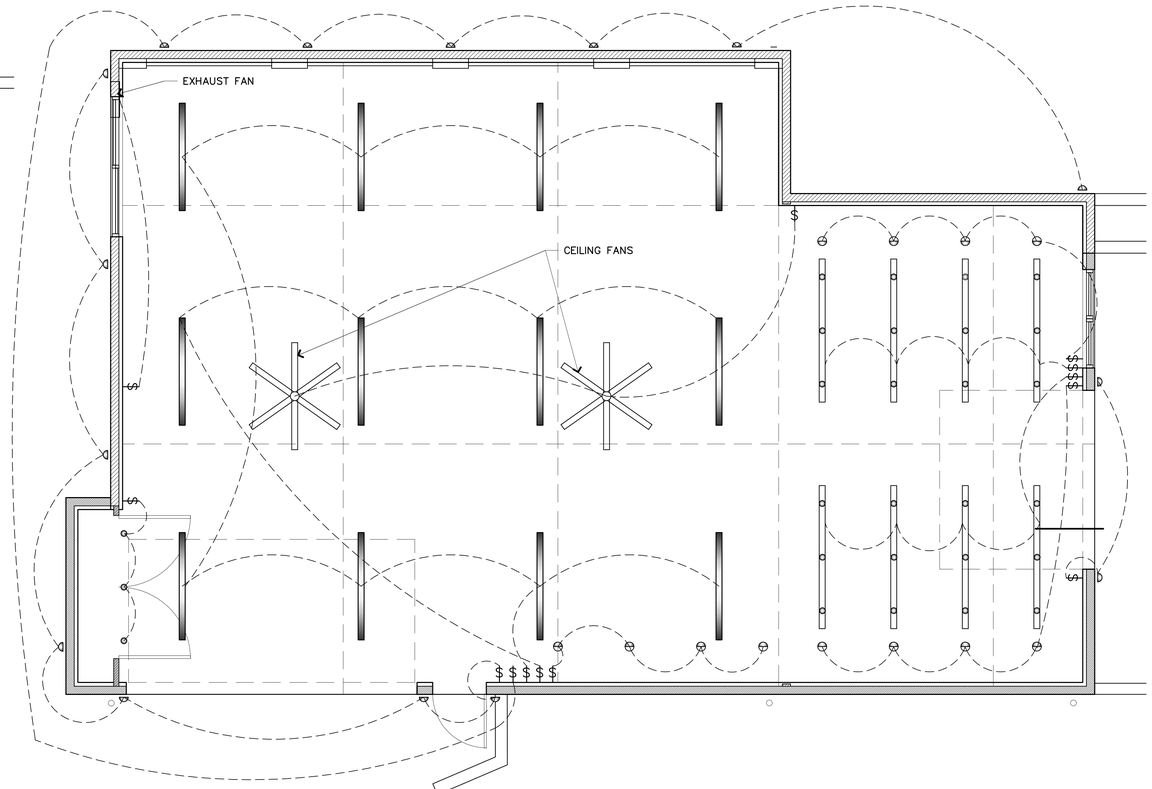
1/4" = 1'-0"

PROJECT

LEGEND:	
⊖=	DUPLEX OUTLET @ 18" U.N.O.
⊖= 220V	DUPLEX OUTLET 220V
⊖= + 60"	DUPLEX OUTLET AT DESIGNATED HEIGHT
⊖= WP	GROUND FAULT CIRCUIT INTERRUPTER OUTLET W/ WEATHER PROOF COVER
◀	TELEPHONE / DATA JACK / TV CABLE JACK
□	ENTRY KEYPAD
●	AIR COMPRESSOR TAKE-OFF

FIXTURE SCHEDULE:

TYPE	DESCRIPTION	LAMPS	WATTAGE	MANUFACTURER
	LINEAR LIGHTS SUSPENDED DOWN LED	TBD		
	TRACK LIGHTING LED	TBD		
	4" LED-WHITE	TBD		
	4" LED-WHITE WALL WASHER	TBD		
	EXTERIOR WALL SCONCE	TBD		



LIGHTING PLAN

1/4" = 1'-0"

PROJECT

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4885 REGISTERED ARCHITECT
JOSE O. BAZAN
STATE OF WASHINGTON

PROJECT :

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SHEET TITLE

ELECTRICAL PLAN
LIGHTING PLAN

SHEET #

E1.01

CODE: INTERNATIONAL BUILDING CODE (IBC) 2015

LOADINGS
- FLOOR LIVE LOAD..... 40 PSF
- DECK LIVE LOAD..... 60 PSF
- ROOF SNOW LOAD..... 25 PSF

WIND CRITERIA
- BUILDING CLASSIFICATION..... II
- ULTIMATE WIND SPEED..... 110 MPH
- WIND EXPOSURE..... B
- TOPOGRAPHIC FACTOR, Kzt..... 1.6

SEISMIC CRITERIA
- SEISMIC RISK CATEGORY..... II
- SPECTRAL RESPONSE COEFFICIENT, Ss 1.47
- SPECTRAL RESPONSE COEFFICIENT, S1 .... 0.56
- SEISMIC SITE CLASS ..... D
- SEISMIC DESIGN CATEGORY..... D

STRUCTURAL SYSTEM

ONE STORY WOOD FRAMED GARAGE

GENERAL CONDITIONS

1. THE CONTRACTOR SHALL EXAMINE THE STRUCTURAL DRAWINGS AND SHALL NOTIFY THE STRUCTURAL ENGINEER IN WRITING OF ANY DISCREPANCIES HE MAY FIND BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK.

2. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.

3. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE THE NOTES, DRAWINGS, AND/OR SPECIFICATIONS DIFFER, THE MORE STRINGENT REQUIREMENT SHALL APPLY.

4. IF A SPECIFIC DETAIL IS NOT SHOWN FOR ANY PART OF THE WORK, THE CONSTRUCTION SHALL BE THE SAME AS FOR SIMILAR WORK.

5. WORKING DIMENSIONS SHALL NOT BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THESE DRAWINGS.

6. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY CONDITION THAT, IN HIS OPINION, MIGHT ENDANGER THE STABILITY OF THE STRUCTURE OR CAUSE DISTRESS TO THE STRUCTURE.

7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT HIS WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS DURING CONSTRUCTION. NOTIFY ENGINEER OF ALL FIELD CHANGES PRIOR TO INSTALLATION.

8. REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION NOT COVERED BY THESE GENERAL NOTES OR THE STRUCTURAL DRAWINGS.

9. ALL CONSTRUCTION SHALL BE DONE WITH MATERIALS, METHODS, AND WORKMANSHIP ACCEPTED AS GOOD PRACTICE BY THE CONSTRUCTION INDUSTRY AND IN CONFORMANCE WITH THE PROVISIONS OF PREVAILING CODE EDITION OF THE "INTERNATIONAL BUILDING CODE" (IBC) AND STANDARDS REFERENCED THEREIN.

10. PIPES, DUCTS, SLEEVES, OPENINGS, POCKETS, CHASES, BLOCK-OUTS, ETC., SHALL NOT BE PLACED IN SLABS, FOUNDATIONS, ETC., NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR SUCH ITEMS, UNLESS SPECIFICALLY DETAILED ON THESE STRUCTURAL DRAWINGS.

11. ALTERNATE ASSEMBLIES AND MATERIALS WILL BE CONSIDERED FOR REVIEW. ENGINEER MAY REQUEST PAYMENT FOR REVIEW.

FOUNDATION

1. STRUCTURAL DESIGN COMPLIES WITH SOILS REPORT PRODUCED BY:
   N.A.
   FOOTING BEARING PRESSURE: 1500 PSF (ASSUMED)
   LATERAL EARTH PRESSURE ON RETAINING WALLS N.A.
2. SUBGRADE PREPARATION, DRAINAGE PROVISIONS, AND OTHER RELEVANT SOIL CONSIDERATIONS ARE TO BE IN ACCORDANCE WITH SAID SOILS REPORT.

DIMENSIONAL LUMBER, ANCHOR BOLT AND NAILING SPECIFICATIONS

1. MEET REQUIREMENTS OF PS 20-70 AND NATIONAL GRADING RULES FOR SOFTWOOD DIMENSIONAL LUMBER. BEAR STAMP OF WWPA.

2. MINIMUM DIMENSIONAL LUMBER GRADES TO BE:

WALL STUDS, 2X, 3 X.....	HF STUD GRADE
WALL PLATES, 2X, 3X.....	HF STANDARD GRADE U.N.O
JOISTS, 2 X 6.....	HF #2
JOISTS, 2 X 8 AND UP.....	DF #2
BEAMS, HEADERS, 6X	DF #2
BEAMS, HEADERS, 4X.....	DF #2, WWPA GRADING
POSTS, 4X, 6X.....	DF #2 U.N.O
LUMBER NOT NOTED HERE...	DF #2 U.N.O

3. PROVIDE STANDARD CUT WASHERS FOR BOLT HEADS AND NUTS BEARING AGAINST WOOD.

4. ALL SILLS OR PLATES RESTING ON CONCRETE OR MASONRY THAT IS IN CONTACT WITH OR RESTING ON FOUNDATIONS SHALL BE PRESSURE-TREATED DOUGLAS FIR/ HEMFIR IN ACCORDANCE TO WITH AWPA U1 (PLANT/SHOP TREATMENT) AND M4 (FIELD TREATMENT) STANDARDS. ALL BEARING WALL PLATES SHALL HAVE 5/8" Ø x10" J-BOLTS PLACED AT MAXIMUM OF 9" FROM THE END OF A PLATE AND SPACED AT INTERVALS SHOWN ON THE SHEARWALL SCHEDULE (MAXIMUM 4'-0" OC SPACING). PROVIDE BP PLATE WASHER AT ALL FOUNDATION SILL PLATE ANCHOR BOLTS. PROVIDE TWO ANCHOR BOLTS MINIMUM PER SECTION OF SILL. FOR NON-SHEARWALL, PLACE ANCHORS AT 48".

5. BOLTS IN WOOD SHALL NOT BE LESS THAN 7 DIAMETERS FROM THE END AND 4 DIAMETERS FROM THE EDGE OF THE MEMBER.

6. NAILS: COMMON WIRE NAILS. NAILING IN ACCORDANCE WITH IBC TABLE 2304.9.1.

7. PRESSURE TREATED WOOD: ALL NAILS INTO PT WOOD SHALL BE HOT DIPPED GALVANIZED PER ASTM A153 OR STAINLESS STEEL. ALL METAL CONNECTORS IN CONTACT WITH PT WOOD SHALL BE HOT DIPPED GALVANIZED AND MEET ASTM A653 CLASS G185 (1.85 OZ OF ZINC PER SQ FT MINIMUM) OR TYPE 304 / 316 STAINLESS STEEL SIMPSON Z-MAX CONNECTORS MEET THIS REQUIREMENT. FASTENERS AND CONNECTORS USED TOGETHER SHALL BE OF THE SAME TYPE (E.G. HOT DIPPED NAILS WITH HOT DIPPED HANGERS)

8. ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED "SURFACE-DRY" AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NO MORE THAN 19 PERCENT. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED "SURFACE-GREEN" AND AIR-DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19 PERCENT PRIOR TO ITS USE IN FRAMING THE STRUCTURE.

9. NOTCHING AND BORING OF BEAMS AND JOISTS IS NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD.

REQUIRED? (Y/N)		MATERIAL / ACTIVITY	EXTENT
Y	N	**1704.2.5 Inspection of Fabricators**	Periodic
		Verify fabrication/quality control procedures	
Y	N	**1705.1.1 Special Cases** (work unusual in nature, including but not limited to alternative materials and systems, unusual design applications, materials and systems with special manufacturer's requirements)	
		1705.2 Steel Construction	
Y	N	1. Fabricator and erector documents (Verify reports and certificates as listed in AISC 360, chapter N, paragraph 3.2 for compliance with construction documents)	Each submittal
Y	N	2. Material verification of structural steel	Periodic
Y	N	3. Embedments (Verify diameter, grade, type, length, embedment. See 1705.3 for anchors)	Continuous
Y	N	4. Verify member locations, braces, stiffeners, and application of joint details at each connection comply with construction documents	Periodic
		5. Structural steel welding:	
Y	N	a. Inspection tasks Prior to Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table N5.4-1)	Observe or Perform as noted (4)
Y	N	b. Inspection tasks During Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table N5.4-1)	Observe (4)
Y	N	c. Inspection tasks After Welding (Observe, or perform for each welded joint or member, the QA tasks listed in AISC 360, Table N5.4-3)	Observe or Perform as noted (4)
		d. Nondestructive testing (NDT) of welded joints: see Commentary	
Y	N	1) Complete penetration groove welds 5/16" or greater in risk category III or IV	Periodic
Y	N	2) Complete penetration groove welds 5/16" or greater in risk category II	Periodic
Y	N	3) Thermally cut surfaces of access holes when material t > 2"	Periodic
Y	N	4) Welded joints subject to fatigue when required by AISC 360, Appendix 3, Table A-3.1	Periodic
Y	N	5) Fabricator's NDT reports when fabricator performs NDT	Each submittal (5)
		6. Structural steel bolting:	
Y	N	a. Inspection tasks Prior to Bolting (Observe, or perform tasks for each bolted connection, in accordance with QA tasks listed in AISC 360, Table N5.6-1)	Observe or Perform as noted (4)
Y	N	b.Inspection tasks During Bolting (Observe the QA tasks listed in AISC 360, Table N5.6-2)	Observe (4)
		1) Pre-tensioned and slip-critical joints	
Y	N	a) Turn-of-nut with matching markings	Periodic
Y	N	b) Direct tension indicator	Periodic
Y	N	c) Twist-off type tension control bolt	Periodic
Y	N	d) Turn-of-nut without matching markings	Continuous
Y	N	e) Calibrated wrench	Continuous
		2) Snug-tight joints	Periodic
Y	N	c. Inspection tasks After Bolting (Perform tasks for each bolted connection in accordance with QA tasks listed in AISC 360, Table N5.6-3)	Perform (4)
Y	N	7. Inspection of steel elements of composite construction prior to concrete placement in accordance with QA tasks listed in AISC 360, Table N6.1	Observe or Perform as noted (4)
		1705.2.2 Steel Construction Other Than Structural Steel	
		1. Material verification of cold-formed steel deck:	
Y	N	a. Identification markings	Periodic
Y	N	b. Manufacturer's certified test reports	Each submittal
		2. Connection of cold-formed steel deck to supporting structure:	
Y	N	a. Welding	Periodic
Y	N	b. Other fasteners (in accordance with AISC 360,Section N6)	
Y	N	1) Verify fasteners are in conformance with approved submittal	Periodic
Y	N	2) Verify fastener installation is in conformance with approved submittal and manufacturer's recommendations	Periodic
		3. Reinforcing steel	
Y	N	a. Verification of weldability of steel other than ASTM A706	Periodic
Y	N	b. Reinforcing steel resisting flexural and axial forces in intermediate and special moment frames, boundary elements of special concrete structural walls and shear reinforcement	Continuous
Y	N	c. Shear reinforcement	Continuous
Y	N	d. Other reinforcing steel	Periodic
		4. Cold-formed steel trusses spanning 60 feet or greater	
Y	N	a. Verify temporary and permanent restraint/bracing are installed in accordance with the approved truss submittal package	Periodic
		1705.3 Concrete Construction	
Y	N	1. Inspection of reinforcing steel installation (see 1705.2.2 for welding)	Periodic.
Y	N	2. Inspection of prestressing steel installation	Periodic
Y	N	3. Inspection of anchors cast in concrete where allowable loads have been increased per section 1908.5 or where strength design is used	Continuous
Y	N	4. Inspection of anchors and reinforcing steel post-installed in hardened concrete: Per research reports including verification of anchor type, anchor dimensions, hole dimensions, hole cleaning procedures, anchor spacing, edge distances, concrete minimum thickness, anchor embedment and tightening torque	Periodic or as required by the research report issued by an approved source
Y	N	5. Verify use of approved design mix	Periodic
Y	N	6. Fresh concrete sampling, perform slump and air content tests and determine temperature of concrete	Continuous
Y	N	7. Inspection of concrete and shotcrete placement for proper application techniques	Continuous
Y	N	8. Inspection for maintenance of specified curing temperature and techniques	Periodic
		9. Inspection of prestressed concrete:	
Y	N	a. Application of prestressing force	Continuous
Y	N	b. Grouting of bonded prestressing tendons in the seismic-force-resisting system	Continuous
		10. Erection of precast concrete members	
Y	N	a. Inspect in accordance with construction documents	In accordance with construction documents
Y	N	b. Perform inspections of welding and bolting in accordance with Section 1705.2	In accordance with Section 1705.2
Y	N	11. Verification of in-situ concrete strength, prior to stressing of tendons in post tensioned concrete and prior to removal of shores and forms from beams and structural slabs	Periodic
Y	N	12. Inspection of formwork for shape, lines, location and dimensions	Periodic
Y	N	13. Concrete strength testing and verification of compliance with construction documents	Periodic

Notes:
1. The inspection and testing agent(s) shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official prior to commencing work. The qualifications of the Special Inspector(s) and testing agencies may be subject to the approval of the Building Official and/or the Design Professional.
2. The list of Special Inspectors may be submitted as a separate document, if noted so above.

3. Special Insepctions as required by Section 1704.2.5 are not required where the fabricator is approved in accordance with IBC Section 1704.2.5.2

4. Observe on a random basis, operations need not be delayed pending these inspections. Perform these tasks for each welded joint, bolted connection, or steel element.

5. NDT of welds completed in an approved fabricator's shop may be performed by that fabricator when approved by the AHJ. Refer to AISC 360, N7.

CONCRETE AND REINFORCING

1. CONCRETE SHALL CONFORM TO THE INDICATED REFERENCE CODES AND STANDARDS EXCEPT AS MODIFIED BELOW:

   ACI-301 - "STANDARD SPECIFICATIONS FOR STRUCTURAL CONCRETE"
   ACI-318 - "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
   ACI-305R - "HOT WEATHER CONCRETING"
   ACI-306R - "COLD WEATHER CONCRETING"
   ACI-304 - "GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE"

2. CONCRETE MIX SPECIFICATIONS

LOCATION	COMP. SRENGTH	W/C RATIO	AIR CONTENT	REMARK
FOOTING	2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE)			
SLAB ON GRADE	2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE)			
FOUNDATION WALL	2500 PSI (MIN. OF 5.5 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE)			
TOPPING	N.A.			

   a. TOTAL AIR CONTENT IS SPECIFIED IN THE TABLE ABOVE. AIR CONTENT TOLERANCE SHALL BE ± 1% AND SHALL BE MEASURED AT THE POINT OF PLACEMENT. (AFTER PUMPING IF APPLICABLE). ALL CONCRETE EXPOSED TO THE WEATHER SHALL HAVE AN APPROVED ADMIXTURE TO ENTRAIN AIR - 5% TOTAL AIR REQUIRED. CONCRETE THAT CAN BE SUBJECTED TO FREEZING AND THAWING DURING CONSTRUCTION SHALL BE AIR ENTRAINED.

3. PROVIDE GRADE 60 KSI (A615) FOR CONCRETE STEEL REINFORCING

REQUIRED? (Y/N)		MATERIAL / ACTIVITY	EXTENT
		1705.4 Masonry Construction	
		(A) Level A, B and C Quality Assurance:	
Y	N	1. Verify compliance with approved submittals	Periodic
		(B) Level B Quality Assurance:	
Y	N	1. Verification of f'm and f'AAC prior to construction	Periodic
		(C) Level C Quality Assurance:	
Y	N	1. Verification of f'm and f'AAC prior to construction and for every 5,000 SF during construction	Periodic
Y	N	2. Verification of proportions of materials in premixed or preblended mortar, prestressing grout, and grout other than self-consolidating grout, as delivered to the project site	Continuous
Y	N	3. Verify placement of masonry units	Periodic
		(D) Levels B and C Quality Assurance:	
Y	N	1. Verification of Slump Flow and Visual Stability Index (VSI) of self-consolidating grout as delivered to the project	Continuous
Y	N	2. Verify compliance with approved submittals	Periodic
Y	N	3. Verify proportions of site-mixed mortar, grout and prestressing grout for bonded tendons	Periodic
Y	N	4. Verify grade, type, and size of reinforcement and anchor bolts, and prestressing tendons and anchorages	Periodic
Y	N	5. Verify construction of mortar joints	Periodic
Y	N	6. Verify placement of reinforcement, connectors, and prestressing tendons and anchorages	Level B - Periodic Level C - Continuous
Y	N	7. Verify grout space prior to grouting	Level B - Periodic Level C - Continuous
Y	N	8. Verify placement of grout and prestressing grout for bonded tendons	Continuous
Y	N	9. Verify size and location of structural masonry elements	Periodic
Y	N	10. Verify type, size, and location of anchors, including details of anchorage of masonry to structural members, frames, or other construction.	Level B - Periodic Level C - Continuous
Y	N	11. Verify welding of reinforcement (see 1705.2.2)	Continuous
Y	N	12. Verify preparation, construction, and protestion of masonry during cold weather (temperature below 40oF) or hot weather (temperature above 90oF)	Periodic
Y	N	13. Verify application and measurement of prestressing force	Continuous
Y	N	14. Verify placement of AAC masonry units and construction of thin-bed mortar joints (first 5000 SF of AAC masonry)	Continuous
Y	N	15. Verify placement of AAC masonry units and construction of thin-bed mortar joints (after the first 5000 SF of AAC masonry)	Level B - Periodic Level C - Continuous
Y	N	16. Verify properties of thin-bed mortar for AAC masonry (first 5000 SF of AAC masonry)	Continuous
Y	N	17. Verify properties of thin-bed mortar forAAC masonry (after the first 5000 SF of AAC masonry)	Level B - Periodic Level C - Continuous
Y	N	18. Prepare grout and mortar specimens	Level B - Periodic Level C - Continuous
Y	N	19. Observe preparation of prisms	Level B - Periodic Level C - Continuous
		1705.5 Wood Construction	
Y	N	1. Inspection of the fabrication process of wood structural elements and assemblies in accordance with Section 1704.2.5	Periodic
Y	N	2. For high-load diaphragms, verify grade and thickness of structural panel sheathing agree with approved building plans	Periodic
Y	N	3. For high-load diaphragms, verify nominal size of framing members at adjoining panel edges, nail or staple diameter and length, number of fastener lines, and that spacing between fasteners in each line and at edge margins agree with approved building plans	Periodic
Y	N	4. Metal-plate-connected wood trusses spanning 60 feet or greater: verify temporary and permanent restraint/bracing are installed in accordance with the approved truss submittal package	
		1705.6 Soils	
		1. Verify materials below shallow foundations are adequate to achieve the design bearing capacity.	
Y	N	2. Verify excavations are extended to proper depth and have reached proper material.	Periodic
Y	N	3. Perform classification and testing of controlled fill materials.	Periodic
Y	N	4. Verify use of proper materials, densities, and lift thicknesses during placement and compaction of controlled fill	Periodic Continuous
Y	N	5. Prior to placement of controlled fill, observe subgrade and verify that site has been prepared properly	Periodic
		1705.7 Driven Deep Foundations	
Y	N	1. Verify element materials, sizes and lengths comply with requirements	Continuous
Y	N	2. Determine capacities of test elements and conduct additional load tests, as required	Continuous
Y	N	3. Observe driving operations and maintain complete and accurate records for each element	Continuous
Y	N	4. Verify placement locations and plumbness, confirm type and size of hammer, record number of blows per foot of penetration, determine required penetrations to achieve design capacity, record tip and butt elevations and document any damage to foundation element	Continuous
Y	N	5. For steel elements, perform additional inspections per Section 1705.2	See Section 1705.2
Y	N	6. For concrete elements and concrete-filled elements, perform additional inspections per Section 1705.3	See Section 1705.3
Y	N	7. For specialty elements, perform additional inspections as determined by the registered design professional in responsible charge	In accordance with construction documents
Y	N	8. Perform additional inspections and tests in accordance with the construction documents	In accordance with construction documents
		1705.8 Cast-in-Place Deep Foundations	
Y	N	1.Observe drilling operations and maintain complete and accurate records for each element	Continuous
Y	N	2. Verify placement locations and plumbness, confirm element diameters, bell diameters (if applicable), lengths, embedment into bedrock (if applicable) and adequate end-bearing strata capacity. Record concrete or grout volumes	Continuous
Y	N	3. For concrete elements, perform additional inspections in accordance with Section 1705.3	See Section 1705.3
Y	N	4. Perform additional inspections and tests in accordance with the construction documents	In accordance with construction documents
		1705.9 Helical Pile Foundations	
Y	N	1. Verify installation equipment, pile dimensions, tip elevations, final depth, final installation torque and other data as required.	Continuous
Y	N	2. Perform additional inspections and tests in accordance with the construction documents	In accordance with construction documents
		1705.10.1 Structural Wood Special Inspections For Wind Resistance	
Y	N	1. Inspection of field gluing operations of elements of the main windforce-resisting system	Continuous
Y	N	2. Inspection of nailing, bolting, anchoring and other fastening of components within the main windforce-resisting system	Periodic
		1705.10.2 Cold-formed Steel Special Inspections For Wind Resistance	
Y	N	1.Inspection during welding operations of elements of the main windforce-resisting system	Periodic
Y	N	2.Inspections for screw attachment, bolting, anchoring and other fastening of components within the main windforce-resisting system	Periodic
		1705.10.3 Wind-resisting Components	
Y	N	1. Roof cladding	Periodic
Y	N	2. Wall cladding	Periodic
Y	N	**1705.11.1 Structural Steel Special Inspections for Seismic Resistance** **Inspection of structural steel in accordance with AISC 341**	In accordance with AISC 341
		1705.11.2 Structural Wood Special Inspections for Seismic Resistance	
Y	N	1. Inspection of field gluing operations of elements of the seismic-force resisting system	Continuous
Y	N	2. Inspection of nailing, bolting, anchoring and other fastening of components within the seismic-force-resisting system	Periodic
		1705.11.3 Cold-formed Steel Light-Frame Construction Special Inspections for Seismic Resistance	
Y	N	1. Inspection during welding operations of elements of the seismic-force-resisting system	Periodic
Y	N	2. Inspections for screw attachment, bolting, anchoring and other fastening of components within the seismic-force-resisting system	Periodic

STRUCTURAL AND MISCELLANEOUS STEEL

STEEL MEMBERS, HARDWARE, FASTENERS SHALL BE HOT DIPPED GALVANIZED OR EPOXY PAINTED PER ARCHITECT REQUIREMENTS. ALL CUT, REPAIRED AND EXPOSED SURFACE SHALL BE PAINTED WITH (2) COAT OF 95% ZINC RICH PAINT PER ASTM A780. COLOR TO MATCH EXISTING.

STEEL SHALL CONFORM TO THE FOLLOWING STANDARDS:

TUBE COLUMNS:	ASTM A500, GRADE B (Fy = 46 KSI)
WIDE FLANGE COLUMNS / BEAMS	ASTM 572 GR50
STEEL PIPE:	SCHEDULE 40, CONFORMING TO ASTM A53, TYPE E OR S, GRADE B (Fy = 35 KSI.)
ALL OTHER STEEL:	ASTM A36 (Fy = 36 KSI) OR ASTM A992
BOLTS:	ASTM A307 (WOOD/STEEL CONN)
BOLTS:	ASTM A325/A490 WITH LOCK WASHERS (STEEL/STEEL AND STEEL/CONC CONN)
ANCHOR BOLTS:	ASTM A307 (WOOD FRAMING)
ANCHOR BOLTS:	ASTM A325 (STEEL FRAMING)

ALL SLIP CRITICAL CONNECTIONS SHALL BE ASTM A325 BOLTS AND SHALL BE ENGINEER-APPROVED, SELF-LOAD INDICATING TYPES, AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

STRUCTURAL STEEL WELDING
CONFORM TO THE AWS CODES D1.1 AND D1.3, AND USE ONLY CERTIFIED WELDERS. WELDS NOT SPECIFIED ARE TO BE 1/4" CONTINUOUS FILLET MINIMUM. INCREASE WELD SIZE TO AWS MINIMUM SIZES, BASED ON PLATE THICKNESS. USE DRY E70 ELECTRODES. ALL WELDING SHALL CONFORM TO THE AWS CODES, AND SHALL BE BY CERTIFIED WELDERS. WELDS NOT SPECIFIED SHALL BE 1/4" CONTINUOUS FILLET MINIMUM. USE DRY E70 ELECTRODES.

DRAWING LIST

SHEET NUMBER	SHEET NAME	ISSUE DATE
S-0	GENERAL NOTES AND SPECIFICATIONS	02-04-21
S-1	FRAMING PLAN	02-04-21
S-2	FRAMING PLAN	02-04-21
S-3	FRAMING DETAILS	02-04-21
S-4	FRAMING DETAILS	02-04-21

Grand total: 5

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PROJECT NO. 19207

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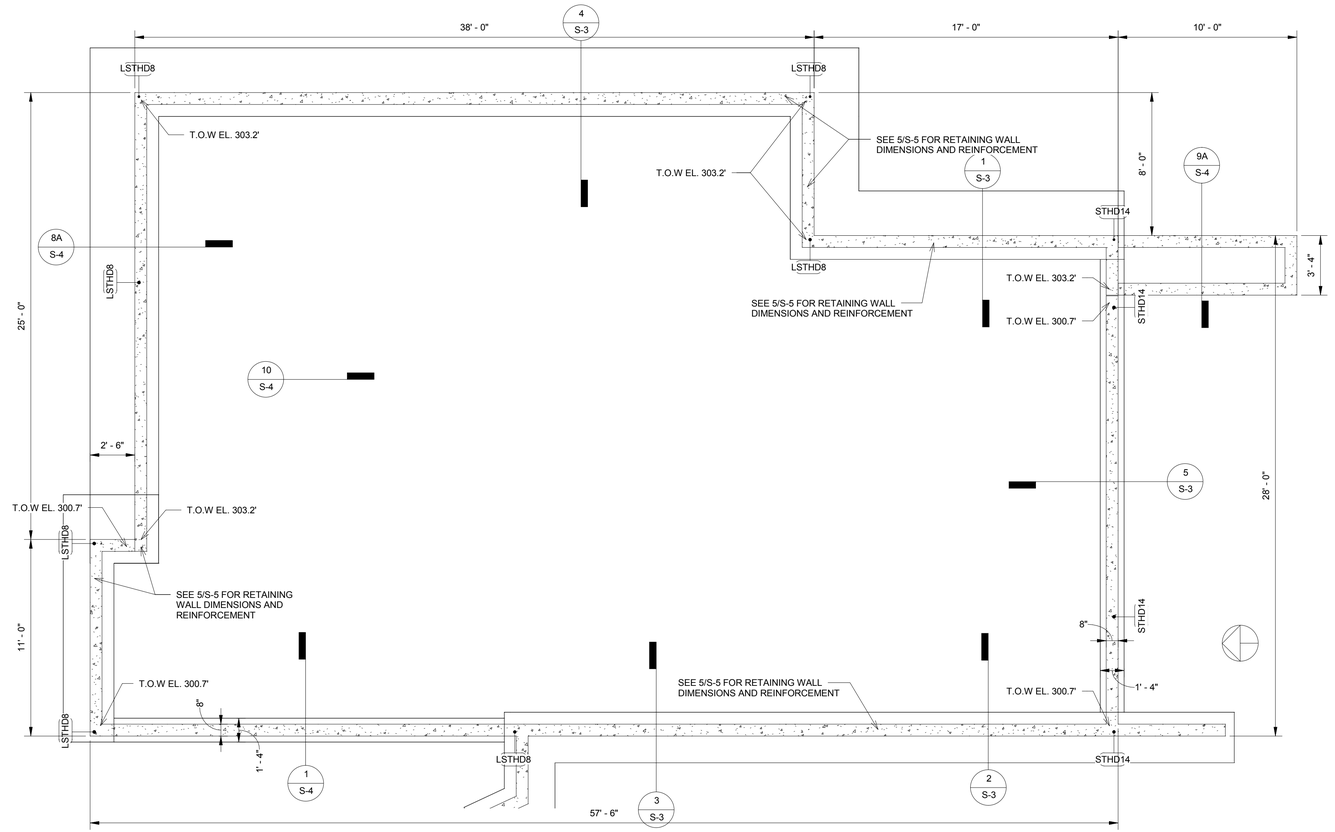
REVISION SCHEDULE

NO.	DATE	DESCRIPTION

GENERAL NOTES AND SPECIFICATIONS

S-0



1 FOUNDATION PLAN
1/4" = 1'-0"

IMPORTANT NOTES FOR CONTRACTOR:

CONTRACTOR SHALL REVIEW STRUCTURAL DRAWINGS AND FIELD VERIFY ALL RELATED EXISTING FRAMING & DIMENSIONS PRIOR TO ANY FIELD WORK. NOTIFY THE ENGINEER/OWNER ANY DISCREPANCIES FOUND IN THE FIELD. STRUCTURAL DRAWINGS MAY NOT CORRECTLY REFLECT ALL EXISTING FRAMING DUE TO LIMITED ACCESS TO THE SITE AND EXISTING DRAWINGS.
CONTRACTOR SHALL FIELD VERIFY AND NOTIFY THE ENGINEER/OWNER OF EXISTING MECHANICAL DUCTS, PLUMBING PIPES, ELECTRICAL WIRES THAT MAY INTERFERE WITH STRUCTURAL WORKS FOR COST CONSIDERATIONS PRIOR TO ANY FIELD WORK.

IMPORTANT FOUNDATION AND FRAMING NOTES:

1. ALL FOOTINGS SHALL BEAR ON SUITABLE SOIL SUCH AS MIN. OF MEDIUM DENSE NATIVE SOIL OR COMPACTED STRUCTURAL FILL (NO SOFT OR ORGANIC MATERIALS). GEOTECHNICAL ENGINEER MAY BE REQUIRED TO ASSESS EXISTING SOIL CONDITIONS.
2. FOR FRAMING LUMBER TYPES AND GRADES, AND CONCRETE MIX REQUIREMENTS PLEASE SEE S-0
3. FOR PLYWOOD/OSB SHEARWALL SCHEDULE, PLEASE SEE S-5
4. FOR COMMON HEADER FRAMING DETAIL AND HEADER SIZE, SEE S-5
5. PROVIDE (2) 2X6 OR (3) 2X4 STUD POSTS AT EACH END OF BEAMS, UNLESS NOTED OTHERWISE ON PLAN
6. SLAB ON GRADE SHALL BE 4" CONCRETE SLAB WITH #3 AT 18" EACH WAY (MID-DEPTH) ON 6" COMPACTED CRUSHED ROCK. PROVIDE 1" SAWCUT JOINT AT 15 FT MAX. SPACING (EACH WAY)
7. FLOOR SHEATHING SHALL BE 3/4" PLYWOOD OR OSB WITH 10d AT 6" NAILING AT EDGES AND AT 12" AT FIELD
8. ROOF SHEATHING SHALL BE 1/2" APA PLYWOOD WITH 16d (3.5" LONG) AT 6" NAILING AT BEAMS AND 10d (2" LONG) AT 12" FIELD NAILING

IMPORTANT NOTES ON TRUSS AND FLOOR FRAMING DESIGN AND SHOP DRAWING:

1. TRUSS FRAMING LAYOUT SHOWN IS GENERAL CONCEPT ONLY. CONTRACTOR/ TRUSS SUPPLIER MUST SUBMIT TRUSS SHOP DRAWINGS INCLUDING TRUSS TEMPORARY/ PERMANENT BRACING PLANS FOR ENGINEER'S REVIEW
2. TRUSS FRAMING PROFILE/ LAYOUT SHOULD CONFORM TO BOTH STRUCTURAL AND ARCHITECTURAL DRAWINGS. ANY DEVIATIONS SHALL BE APPROVED BY ENGINEER/ ARCHITECT PRIOR TO TRUSS DESIGN WORK.
3. TRUSS DEFLECTION CRITERIAS:
FLOOR/DECK TOTAL LOAD = L/480 ROOF TOTAL LOAD = L/240
FLOOR/DECK LIVE LOAD = L/600 ROOF SNOW LOAD = L/300
** MAXIMUM TOTAL LOAD DEFLECTION SHOULD NOT EXCEED 1.0" IN ALL CASES
4. FLOOR/ROOF FRAMING LAYOUT AND CONNECTORS (SUCH AS LUMBER PACKAGE BY SUPPLIERS) MUST BE SUBMITTED FOR ENGINEER'S REVIEW PRIOR TO CONSTRUCTION

FRAMING SYMBOLS:

SS24	SIMPSON WSW STRONG WALL (24" WIDE)	P	CONTINOUS POST
SW6	PLYWOOD SHEARWALL	P	POST STOPS BELOW THIS FLOOR
A	SHEARWALL HOLDOWN	P	POST STARTS AT THIS FLOOR

LEGEND AND NOTES
1/4" = 1'-0"

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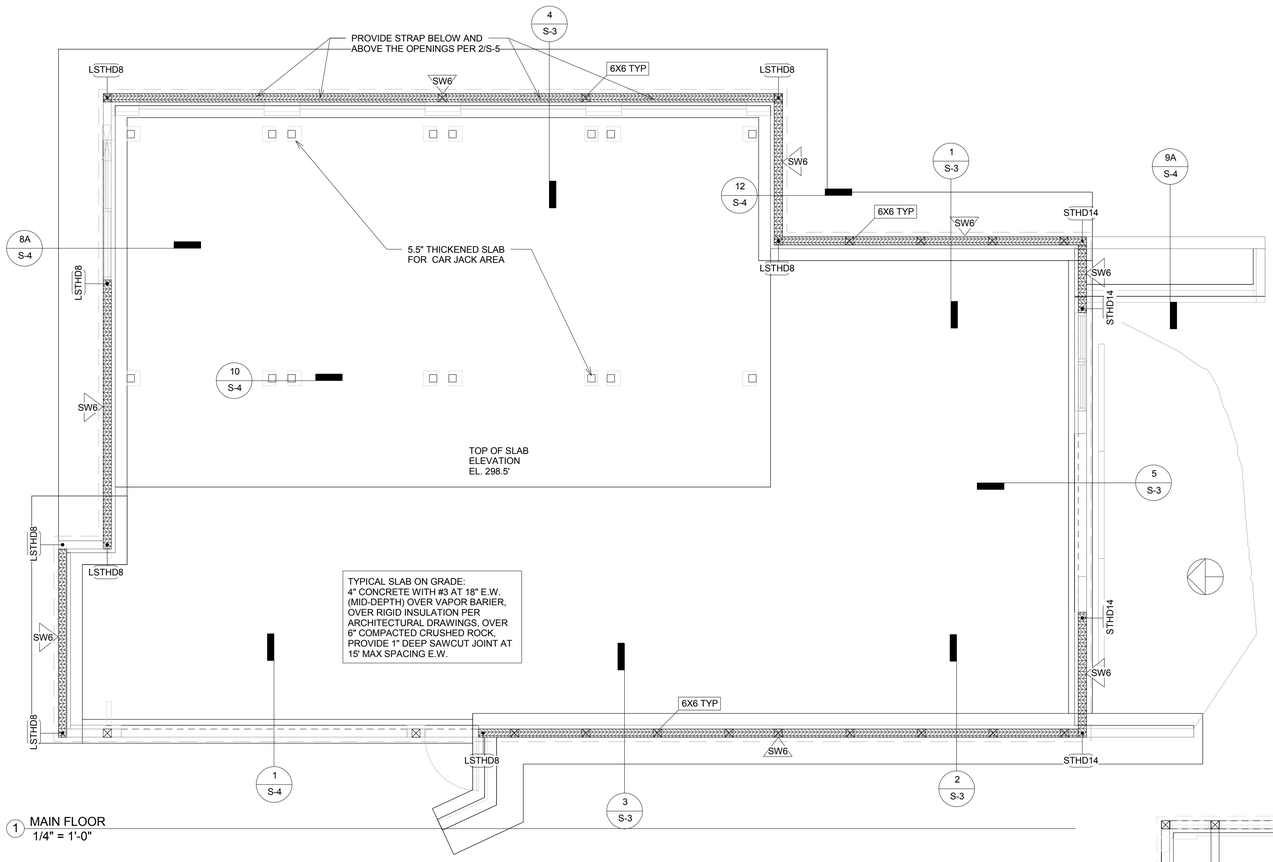
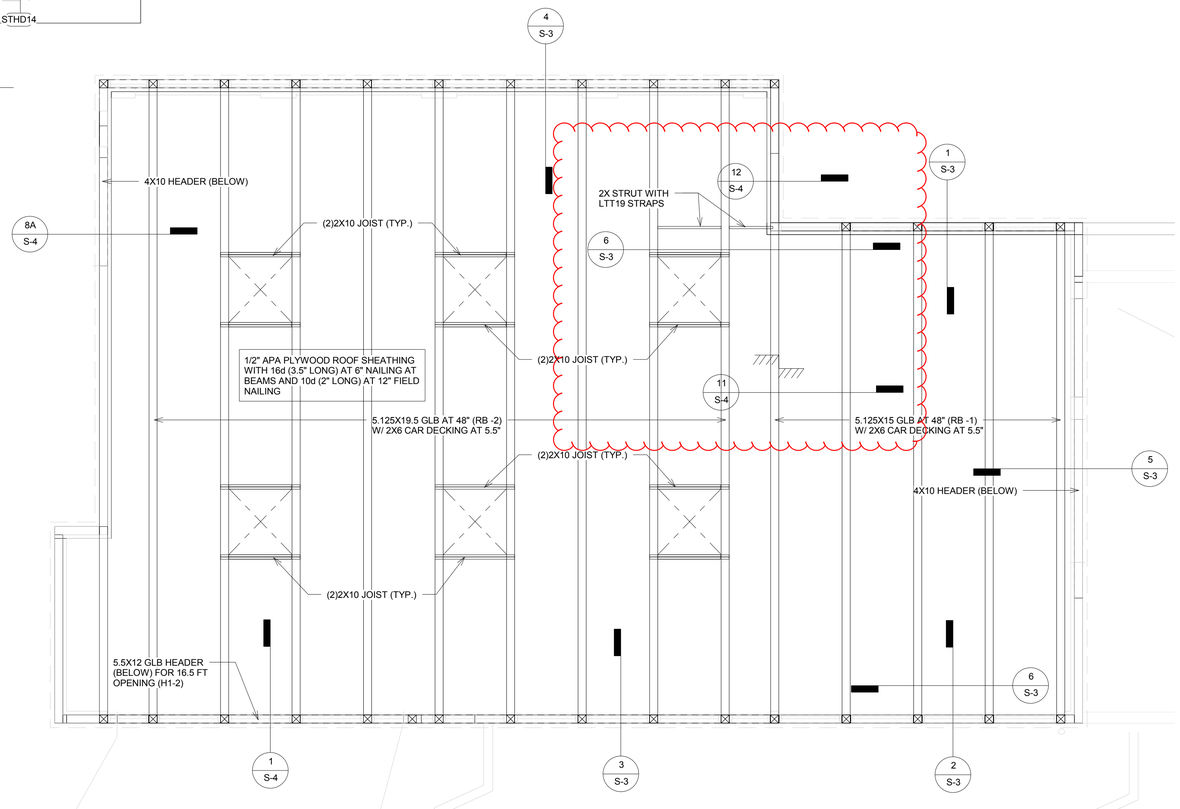
FRAMING PLAN

S-1



1 MAIN FLOOR
1/4" = 1'-0"



2 ROOF
1/4" = 1'-0"

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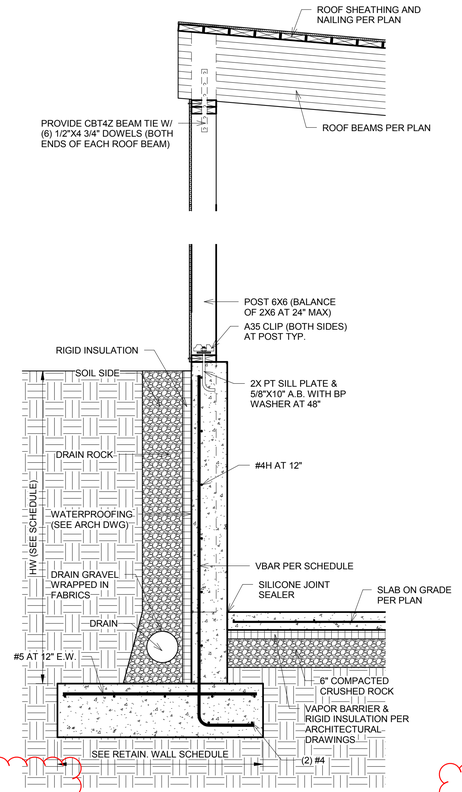
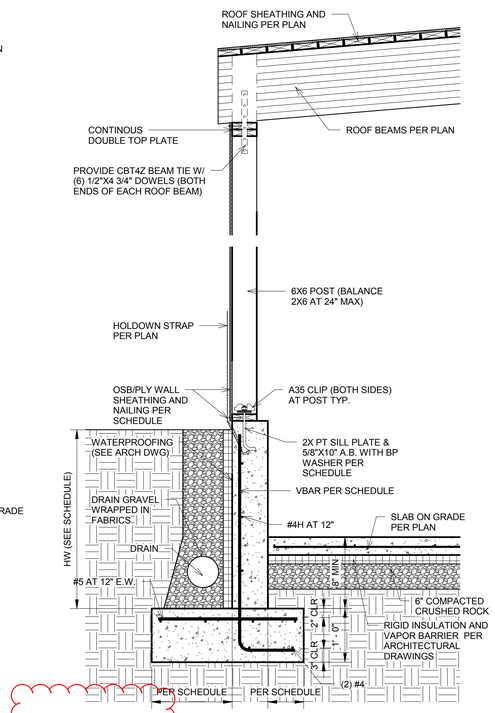
NO.	DATE	DESCRIPTION

FRAMING PLAN

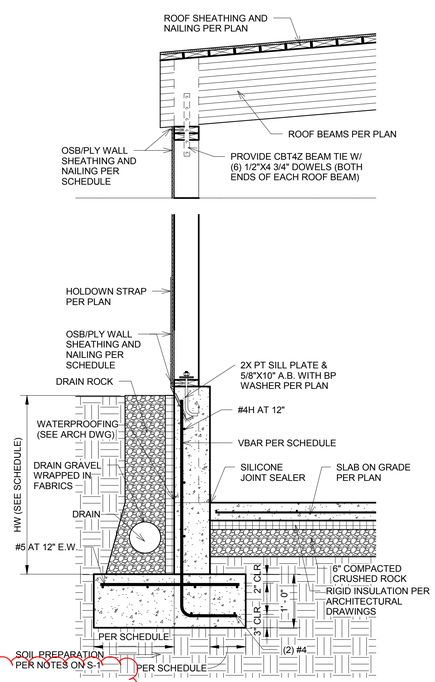
S-2



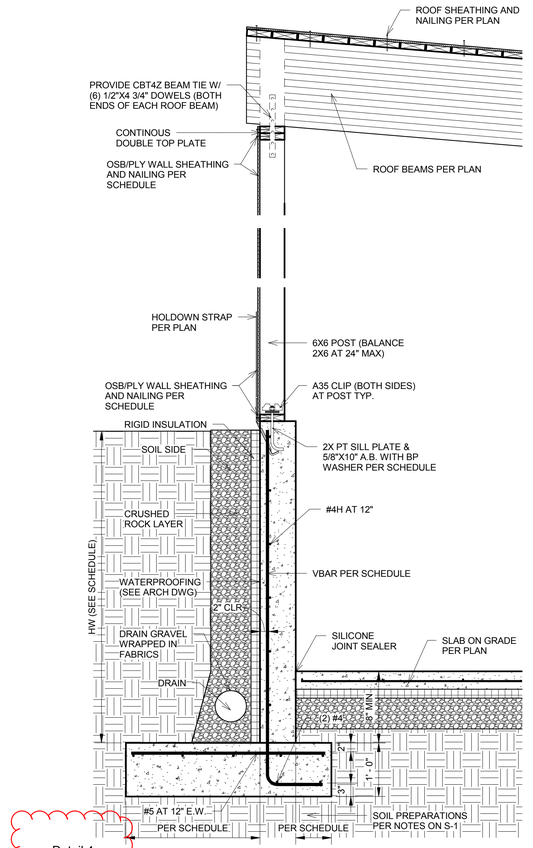
1 Detail 1
3/4" = 1'-0"



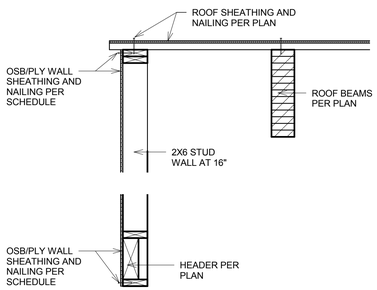
2 Detail 2
3/4" = 1'-0"

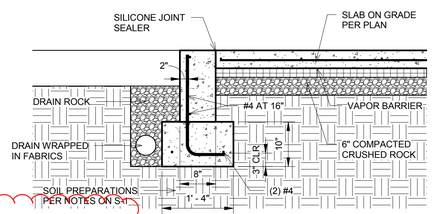


3 Detail 3
3/4" = 1'-0"

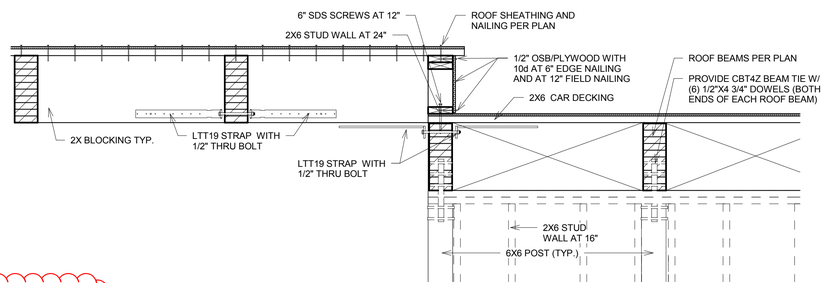


4 Detail 4
3/4" = 1'-0"





5 Detail 5
3/4" = 1'-0"



6 Detail 6
3/4" = 1'-0"

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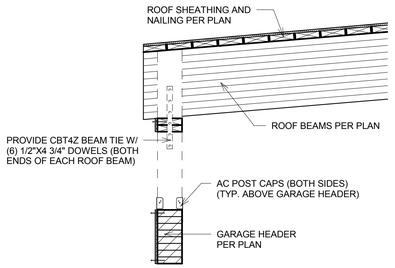
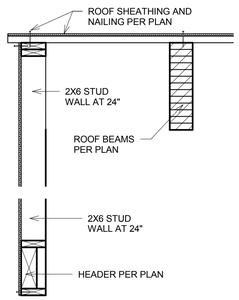
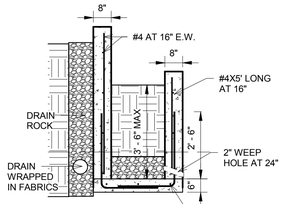
NO.	DATE	DESCRIPTION

FRAMING DETAILS

S-3





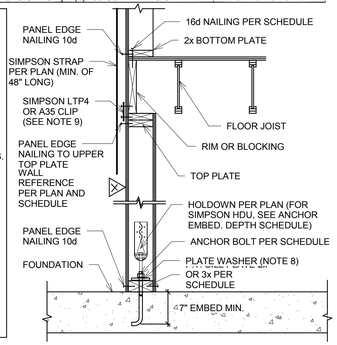


9A Detail 9
3/8" = 1'-0"

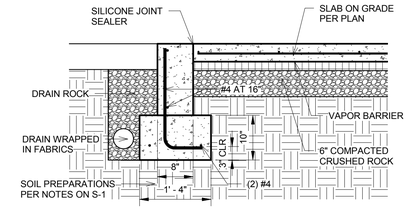
TYPE	PLYWOOD OR OSB SHEATHING (NOTE 7)	PANEL EDGE NAILING (NOTE 4)	PANEL EDGE STUDS AND BLKG	ANCHOR BOLTS AT SILL PLATE (NOTE 8)	TOP/SILL PLATE TO BLOCKING/ RIM (NOTE 9)	BOTTOM PLATE TO BLOCKING/ RIM (NOTE 4)	CAPACITY (LRFD) (SEISMIC/WIND)
SW6	15/32" PLY/OSB ONE SIDE	10d COM AT 6"	2x	5/8" AT 36" O.C.-2x	SIMPSON LTP4 AT 24" O.C.	16d COM AT 6" O.C.-NARROW	496 PLF/ 696 PLF
SW4	15/32" PLY/OSB ONE SIDE	10d COM AT 4"	2x (SEE NOTE 5)	5/8" AT 24" O.C.-2x	SIMPSON LTP4 AT 16" O.C.	16d COM AT 4" O.C.-NARROW	736 PLF/ 1032 PLF
SW3	15/32" PLY/OSB ONE SIDE	10d COM AT 3"	3x	5/8" AT 18" O.C.-2x	SIMPSON LTP4 AT 12" O.C.	16d COM AT 3" O.C.-WIDE	960 PLF/ 1344 PLF
SW2	15/32" PLY/OSB ONE SIDE	10d COM AT 2"	3x	5/8" AT 12" O.C.-2x	SIMPSON LTP4 AT 8" O.C.	16d COM AT 2" O.C.-WIDE	1232 PLF/ 1724 PLF
SW44	15/32" PLY/OSB TWO SIDES	10d COM AT 4"	2x	5/8" AT 18" O.C.-3x	SIMPSON LTP4 AT 16" O.C. B.S.	(2) 16d COM AT 4" O.C.-WIDE	1472 PLF/ 2064 PLF
SW33	15/32" PLY/OSB TWO SIDES	10d COM AT 3"	3x	5/8" AT 16" O.C.-3x	SIMPSON LTP4 AT 12" O.C. B.S.	(2) 16d COM AT 3" O.C.-WIDE	1920 PLF/ 2688 PLF
SW22	15/32" PLY/OSB TWO SIDES	10d COM AT 2"	3x	5/8"AT 12" O.C.-3x	SIMPSON LTP4 AT 8" O.C. B.S.	(2) 16d COM AT 2" O.C.-WIDE	2464 PLF/ 3448 PLF

SHEARWALL SCHEDULE NOTES:

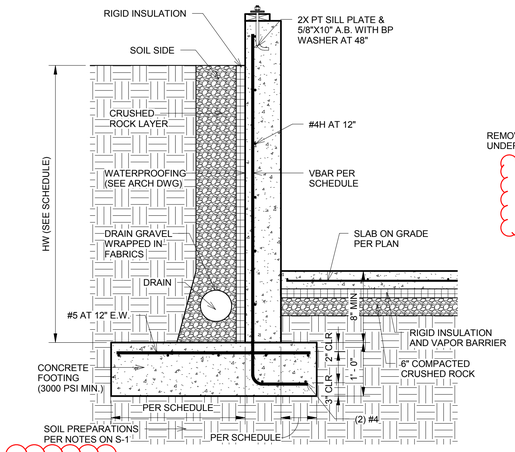
1. ALL PANEL EDGES TO OCCUR OVER STUDS, PLATES, RIMS OR HORIZONTAL BLOCKING AT WALLS
2. NAIL SHEATHING TO INTERMEDIATE SUPPORTS/ FIELD NAILING 10d AT 12" O.C.
3. ALL NAILS INTO 3x MEMBERS SHALL BE STAGGERED.
   (2)2x STUDS MAY BE USED IN LIEU OF 3x STUDS AT PANEL JOINTS.
   NAIL STUDS TOGETHER W/2 ROWS 16d COMMON AT 6" O.C. AT SINGLE SIDE SHEATHING AND NAIL WITH 2 ROWS OF 16d COMMON AT 3" O.C. AT DOUBLE SHEATHED WALLS.
4. COM DENOTES COMMON NAILS. MIN. NAIL PENETRATION INTO PLATE, RIM OR BLOCKING SHALL BE 1 5/8". STAGGER BOTTOM PLATE NAILING
5. FOR SHEARWALL SW4, ALL FRAMING MEMBERS RECEIVING EDGE NAILINGS FROM ABUTTING PANELS SHALL BE 3X OR (2) 2X NAILED TOGETHER WITH 16d AT 6"
6. WHERE SHEATHING IS APPLIED TO BOTH SIDES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
7. PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF WALLS NOTED ON PLAN.
   PROVIDE HOLDOWNS PER PLAN AT EACH END OF WALL, UNO.
   PROVIDE (2) 2X STUDS AT ENDS OF ALL SHEARWALL. FACE NAIL MULTIPLE STUDS WITH 16d AT 12"
   PROVIDE PANEL EDGE NAILING IN EACH HOLDOWN STUD AT END OF WALL.
8. ALL FOUNDATION SILL PLATES SHALL BE PT MEMBERS AND THE ANCHOR BOLTS SHALL HAVE MIN. OF 7" EMBEDMENT WITH 1/4" x 3" x 3" PLATE WASHER OR SIMPSON'S BP/ BPS PLATE.
   END OF WALL ANCHOR BOLTS SHALL BE LOCATED MAX 12" AND MIN 5" FROM END OF THE PLATE.
9. WHERE NOTED IN DETAILS, USE SIMPSON A35 IN LIEU OF LTP4 PLATES SPACE AT 2/3 OF LTP4 SPACING.



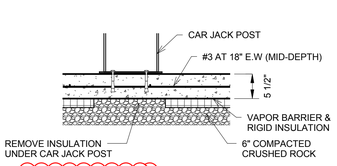
5 SHEARWALL SCHEDULE
3/4" = 1'-0"



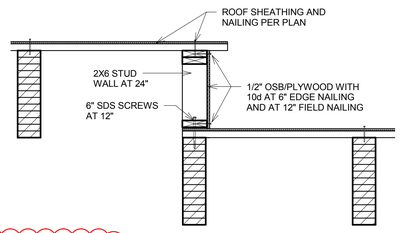
1 Detail 7
3/4" = 1'-0"



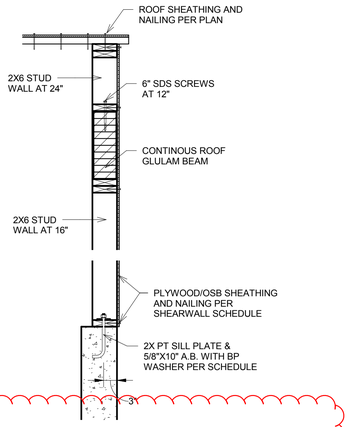
8A Detail 8
3/4" = 1'-0"



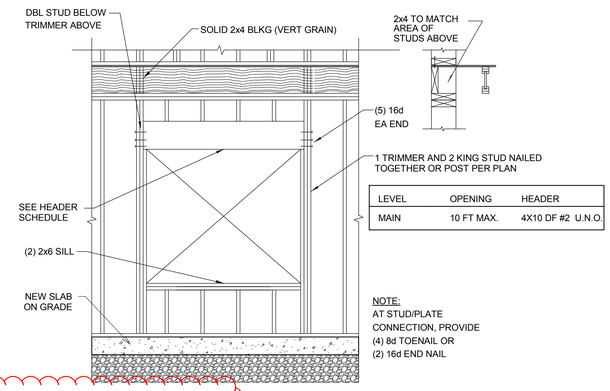
10 Detail 10
3/4" = 1'-0"



11 Detail 11
3/4" = 1'-0"



12 Detail 12
3/4" = 1'-0"



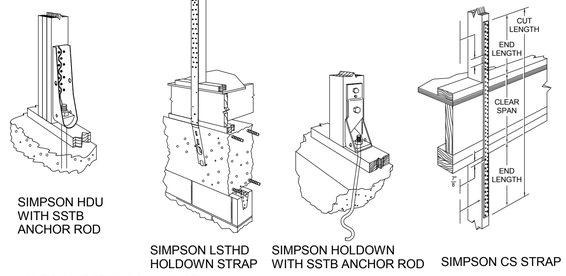
LEVEL	OPENING	HEADER
MAIN	10 FT MAX.	4X10 DF #2 U.N.O.

NOTE:
AT STUD/PLATE CONNECTION, PROVIDE
(4) 8d TOENAIL OR
(2) 16d END NAIL

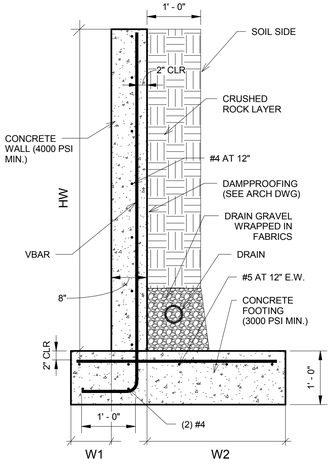
7 TYP. WALL OPENING FRAMING
3/4" = 1'-0"

SIMPSON HOLDOWN
HDU2
HDU4
HDU5
HDU8
HDU11 & HDU14

REQUIRED SIMPSON ANCHOR BOLTS
SSTB16 (5/8"ANCHOR WITH 12 5/8" MIN. EMBED.)
SB 5/8X 24 (5/8"ANCHOR WITH 18" MIN. EMBED.)
SB 5/8X 24 (5/8"ANCHOR WITH 18" MIN. EMBED.)
SB 7/8X 24 (7/8"ANCHOR WITH 18" MIN. EMBED.)
SB 1X 30 (1" ANCHOR WITH 24" MIN. EMBED.)



8 HOLDOWN DETAILS & ANCHOR SCHEDULE
3" = 1'-0"



HW	W1	W2	VBAR	CBAR
4'	8"	1'6"	#4 AT 12"	#4X3'X3' AT 12"
6'	8"	2'6"	#4 AT 12"	#5X4'X4' AT 12"
8'	12"	3'6"	#5 AT 12"	#5X6'X6' AT 12"
10'	18"	4'8"	#5 AT 6"	#5X8'X8' AT 6"

IMPORTANT NOTES:

1. BACKFILL THE WALLS PRIOR TO FRAMING THE FLOOR ABOVE
2. THE WALLS ARE NOT DESIGNED FOR WATER PRESSURE. IF RUNNING WATER IS ENCOUNTERED DURING EXCAVATION, PLEASE NOTIFY THE STRUCTURAL ENGINEER.
3. THE WALL CONCRETE STRENGTH SHALL BE MIN. 2500 PSI.
4. THE FOOTING CONCRETE STRENGTH SHALL BE MIN. 2500 PSI
5. DO NOT HESITATE TO CALL THE STRUCTURAL ENGINEER AT 425-296-2993 FOR ANY QUESTIONS

9 RETAINING WALL SCHEDULE
3/4" = 1'-0"

b2 structural engineers
info@b2engineers.com
425-318-7047 (O)
425-318-0031 (C)

BASRI BASRI STATE OF WASHINGTON 43789 STRUCTURAL ENGINEER PROFESSIONAL ENGINEER

BELADY GARAGE

7627 79TH AVE SE,
MERCER ISLAND, WA
98040

DRAWING INFO

ISSUE DATE 02-04-21
ISSUED FOR PERMIT
PROJECT NO. 19207
ENGINEER BB

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

FRAMING DETAILS

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